

## **GODS HOLY TEMPLE SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments

The preliminary plat illustrates the proposed 2-lot, 4.3± acre subdivision which is located on the West side of Old Pascagoula Road at the North Terminus of Plantation Oaks Drive. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by city water and sewer systems. The purpose of this application is to create two legal lots of record from one legal lot of record.

At its April 5, 1990 meeting, the Planning Commission approved the resubdivision of a 5.5 acre lot into two lots. The applicant now wishes to further resubdivide the lot currently designated as Lot 1 of the previously approved subdivision into proposed Lots 1 and 2, as indicated on the preliminary plat.

Currently, there is a single family residence located on the property. The portion of the property containing the residential structure will be retained on the proposed Lot 1, and the remaining vacant land to the North of the proposed Lot 1 comprises the proposed Lot 2.

The proposed lots front Old Pascagoula Road. This portion of Old Pascagoula Road is a paved minor street, without curb and gutter, which requires an 60' wide right-of-way width. The existing right-of-way width is depicted as 80' on the preliminary plat and should be retained on the Final Plat, if approved.

The proposed Lot 2 is an irregular shaped flag lot. According to Section V.D.1. of the Subdivision Regulations, "*panhandle or flag lots shall generally not be allowed, but may be permitted only in those locations where varied and irregularly-shaped lot designs are common and the informality of design is consistent with other lots in the vicinity; or, where unusual circumstances such as an odd shaped lot exists; or, separate disparate uses exist on a single lot; or, where there are natural or pre-existing man-made barriers which may cause an undue hardship on the land owner; or in the case of a family division.*" It should be noted that there are no other Planning Commission approved flag parcels along Old Pascagoula Road within a ½ mile of the site; however, it appears that this is a common parcel arrangement found throughout the surrounding area.

Due to the irregular shape of Lot 2, a note should be placed on the Final Plat stating that there shall be no additional subdivision until additional frontage on a paved public or private street is provided.

Additionally, the proposed Lot 2 will exceed the maximum depth-to-width ratio and will require a waiver of Section V.D.3. of the Subdivision Regulations. There are several other sites in the area with a similar configuration.

In accordance with Section V.D.2. of the Subdivision Regulations, the proposed lots appear to exceed the 7,200 square foot minimum lot size requirements for lots served by public water and sanitary sewer systems. The lot size information is depicted in both square feet and in acres on the preliminary plat and should be retained on the Final Plat, if approved.

The 25-foot minimum building setback line is depicted on the preliminary plat for both proposed lots, and should be retained on the Final Plat, if approved.

As a means of access management, a note should be placed on the Final Plat, if approved, stating that both Lots 1 and 2 are limited to one curb cut each to Old Pascagoula Road, with the size, design and location of the new curb-cut to be approved by Mobile County Engineering and conform to AASHTO standards.

This site is located in the County; therefore, any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

As no justification for the proposed flag lot was provided with the application, staff cannot recommend approval of this request until more information is provided.

Based upon the proceeding, this application is recommended for Holdover to the May 19<sup>th</sup> meeting with revisions due by May 2<sup>nd</sup> to address the following:

- 1) No justification was provided for the proposed flag lot.

# LOCATOR MAP



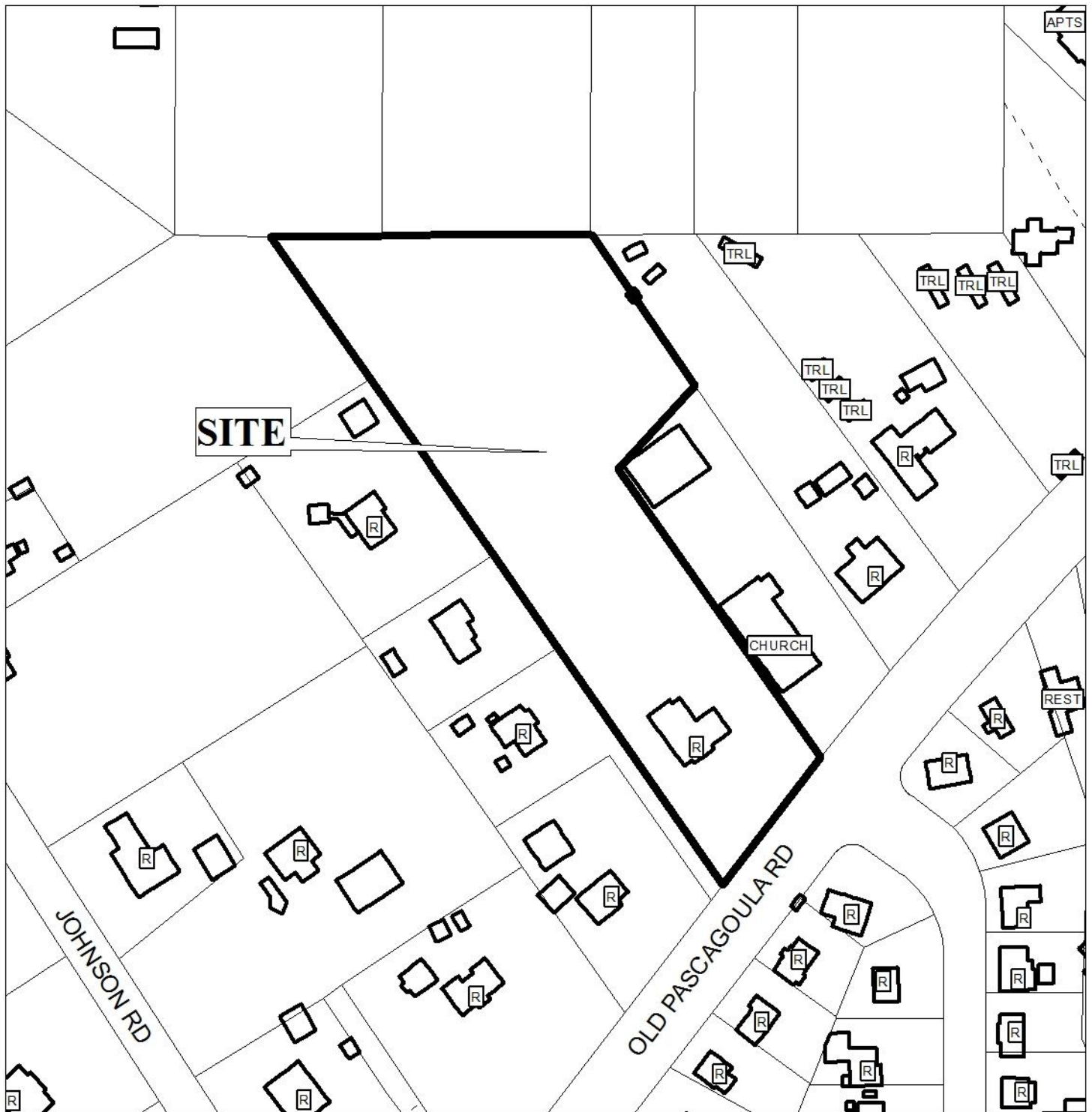
APPLICATION NUMBER 7 DATE April 21, 2016

APPLICANT God's Holy Temple Subdivision

REQUEST Subdivision



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



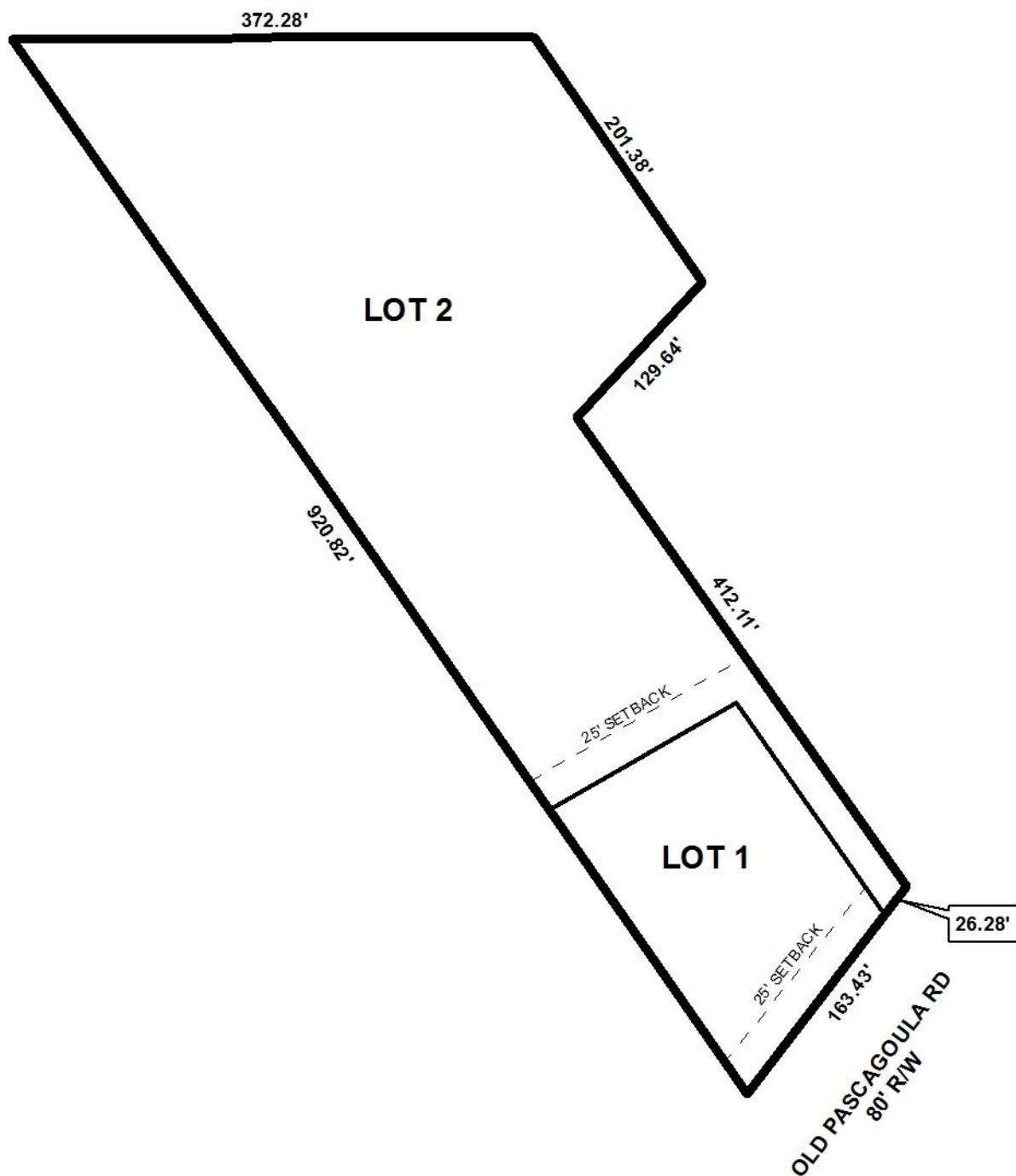
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# DETAIL SITE PLAN



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