

GLEN ACRES SUBDIVISION

RESUBDIVISION OF LOT 35 BLOCK L

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 2-lot, 1.0 \pm acre subdivision which is located on the East side of Carol Street, 605' \pm South of Cromwell Street. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by public water and individual septic system.

The purpose of this application is to create 2 legal lots of record from one legal lot of record.

The proposed lots front Carol Street, a paved minor street without curb and gutter. Carol Street requires a 60' wide right-of-way width. The preliminary plat should depict the existing right-of-way width to be 60', with the dedication of sufficient right-of-way to provide 30' from the centerline.

The 25-foot minimum building setback line is depicted on the preliminary plat for Lot A; however, the minimum building setback line for Lot B should be revised to reflect a minimum distance of 25' from the pole portion of the lot on the Final Plat, if approved. In addition, the Final Plat should illustrate the revision of the 25' minimum building setback lines to reflect sufficient dedication for both Lots A and B.

Lot B is irregularly shaped and will require a waiver of Section V.D.1 of the Subdivision Regulations. The applicant's justification for the flag lot is that the lot's shape is to accommodate two dwellings, one for both Lots A and B, and to keep in character with similar properties located in the surrounding neighborhood. As there is one other flag lot within 200 \pm feet that was approved by the Planning Commission in 2008, a waiver of Section V.D.1 may be appropriate.

Due to the irregular shape of Lot B, a note should be placed on the Final Plat stating that there shall be no additional subdivision until additional frontage on a paved public or private street is provided.

As a means of access management, a note should be placed on the Final Plat stating that each lot is limited to one curb-cut each to Carol Street, , with the size, design and location of any curb-cuts, to be approved by Mobile County Engineering and conform to AASHTO standards.

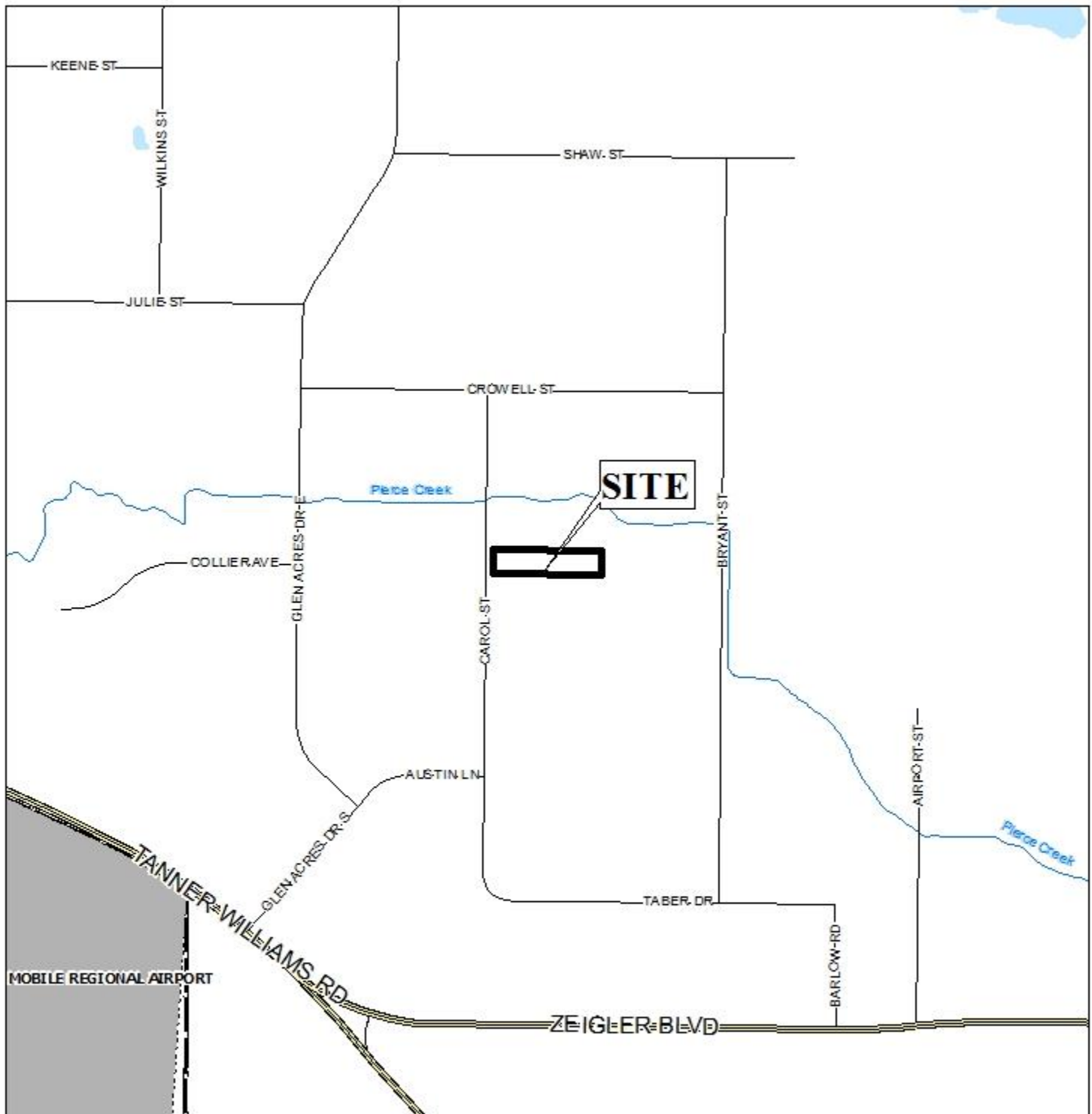
In accordance with the Subdivision Regulations, both proposed lots appear to exceed the 15,000 square feet minimum lot size requirements for lots with public water and individual septic systems. The lot size information is depicted in square feet and acres on the preliminary plat and should be retained on the Final Plat, if approved, with revision for dedication for each lot.

This site is located in the County, therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

With a waiver of Section V.D.1 of the Subdivision Regulations, the application is recommended for Approval, subject to the following conditions:

- 1) Dedication of right-of-way to provide 30' as measured from the centerline of Carol Street;
- 2) Revision of the minimum building setback line to reflect a minimum distance of 25' for Lot B;
- 3) Placement of a note on Final Plat stating no future subdivision of Lot B until additional frontage on a paved public or private street is provided;
- 4) Placement of a note on the Final Plat stating that each lot is limited to 1 curb-cut each to Carol Street, with the size, design and location to be approved by Mobile County Engineering and conform to AASHTO standards;
- 5) Retention of the lot size information on the Final Plat, revised for dedication;
- 6) Placement of a note on the Final Plat stating: *(This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.);*
- 7) Compliance with Fire Comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.);* and
- 8) Compliance with Engineering Comments and placement as a note on the Final Plat: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.).*

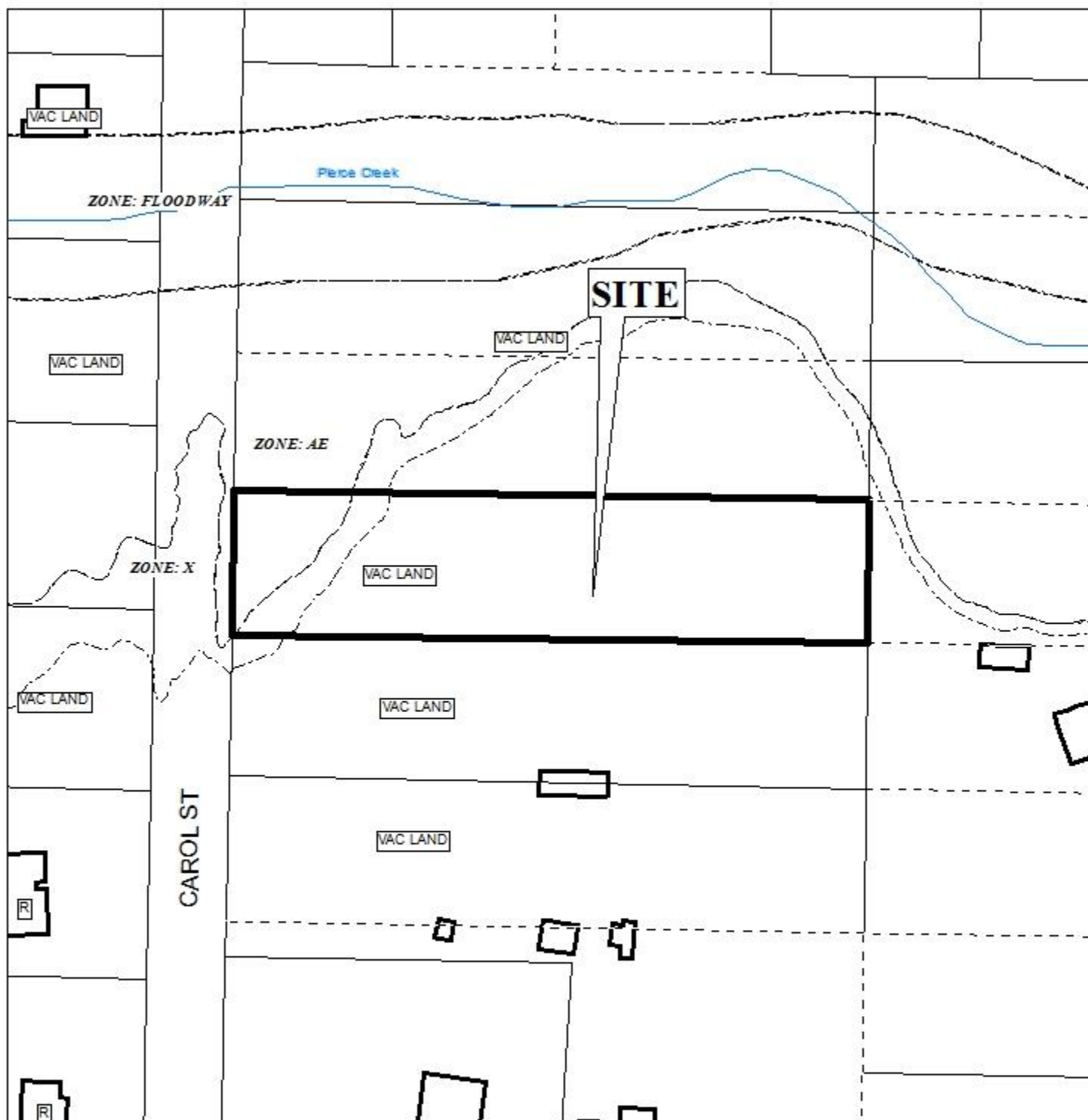
LOCATOR MAP



APPLICATION NUMBER 7 DATE May 21, 2015
APPLICANT Glen Acres Subdivision, Resubdivision of Lot 35 Block L
REQUEST Subdivision



GLEN ACRES SUBDIVISION, RESUBDIVISION OF LOT 35 BLOCK L



APPLICATION NUMBER 7 DATE May 21, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



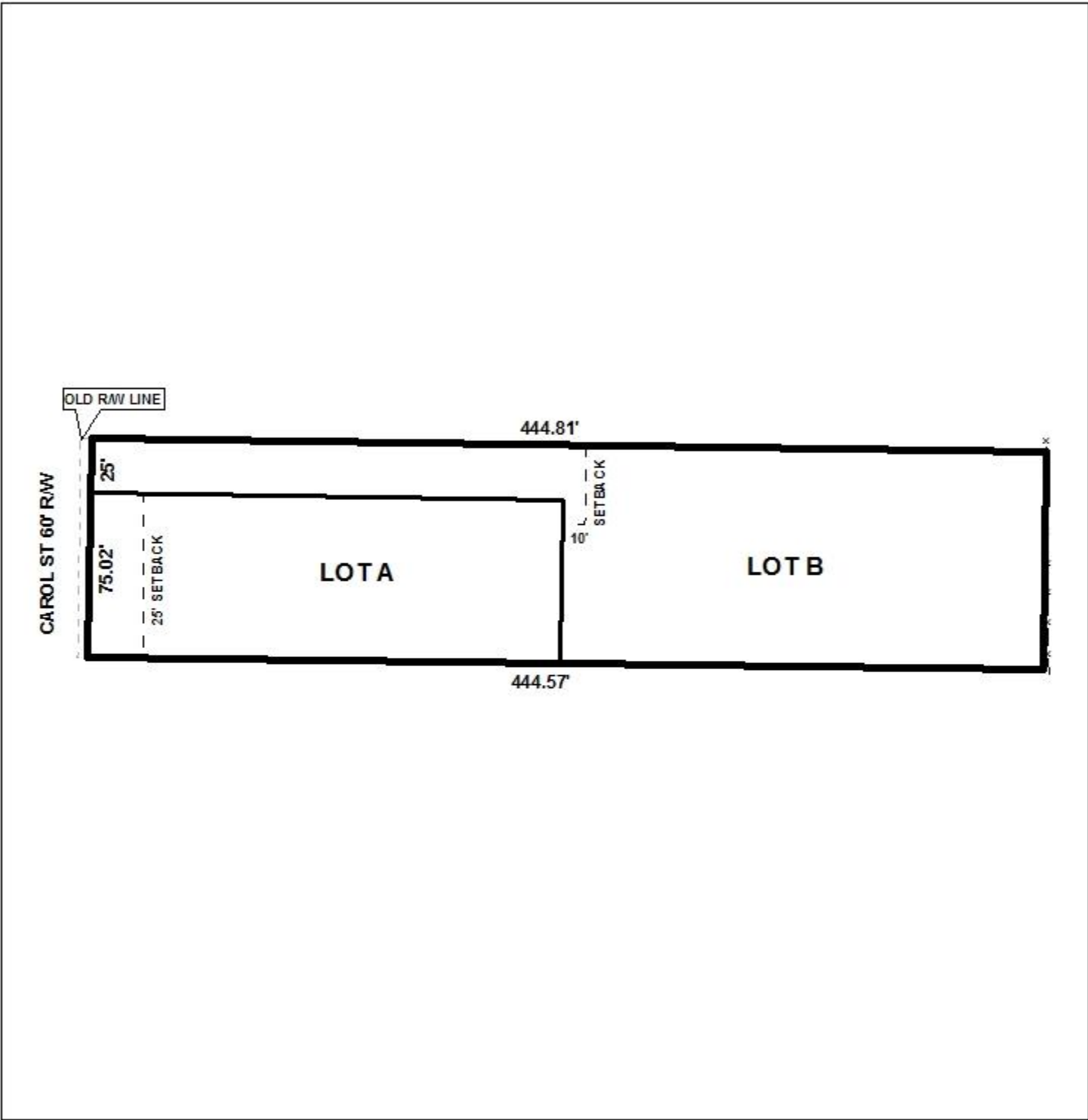
**GLEN ACRES SUBDIVISION, RESUBDIVISION OF
LOT 35 BLOCK L**



APPLICATION NUMBER 7 DATE May 21, 2015



DETAIL SITE PLAN



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 APPLICANT Glen Acres Subdivision, Resubdivision of Lot 35 Block L
 REQUEST Subdivision

