

GIOR-MILTON PLAZA SUBDIVISION

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Review and revise the written legal description or the label for the Point of Commencement.
- C. Provide and label the monument set or found at each subdivision corner.
- D. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- E. Provide the Surveyor's Certificate and Signature.
- F. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- G. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- H. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- I. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures.
- J. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering Comments: Each lot is limited to one curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWWS Comments: MAWSS has only sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 2 lot, 3.7 \pm acre subdivision which is located on the South side of Washington Boulevard, 540 \pm West of Bowers Lane, and is in Council District 4. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create 2 legal lots of record from a metes-and-bonds parcel.

The site fronts Washington Boulevard, a minor street without curb or gutter. The preliminary plat depicts Washington Boulevard as having a 50' right-of-way. A minimum 60' right-of-way is required for streets without curb and gutter, thus dedication to provide 30' as measured from centerline of Washington Boulevard will be required. Lot 2 additionally has frontage onto Diamond Road, a minor street with adequate right-of-way.

The proposed lots appear to meet the minimum size and frontage requirements as regulated by Section V.D.2. of the Subdivision Regulations. However, the lots do not comply with Section V.D.3. of the Subdivision Regulations regarding the maximum width to depth ratio. Lot 2 also has frontage onto Diamond Road making it a double frontage lot which does not comply with Section V.D.8 of the Subdivision Regulations. Thus, a waiver of Section V.D.3 and V.D.8 will be required in order to approve the subdivision as proposed.

Lot 2 is developed with a residence and with one existing curb-cut to Washington Boulevard. If approved, a note should be placed on the Final Plat stating each lot is limited to 1 curb-cut with the size, design, and exact location to be approved by Traffic Engineering, and conform to AASHTO standards. Lot 2 should be denied access to Diamond Road.

The 25' minimum building setback lines are depicted on the plat. However, revisions along Washington Boulevard due to dedication should be made and the illustration of new 25' minimum building setback lines should be depicted on the Final Plat. The plat should also be revised to depict a 25' minimum building setback line along Lot 2 where the lot has frontage along Diamond Road.

The lot sizes in square feet and acres are labeled on the preliminary plat; however, the lot sizes in square feet and acres should be adjusted on the Final Plat to reflect dedication, or there should be the provision of a table on the plat depicting the revised information.

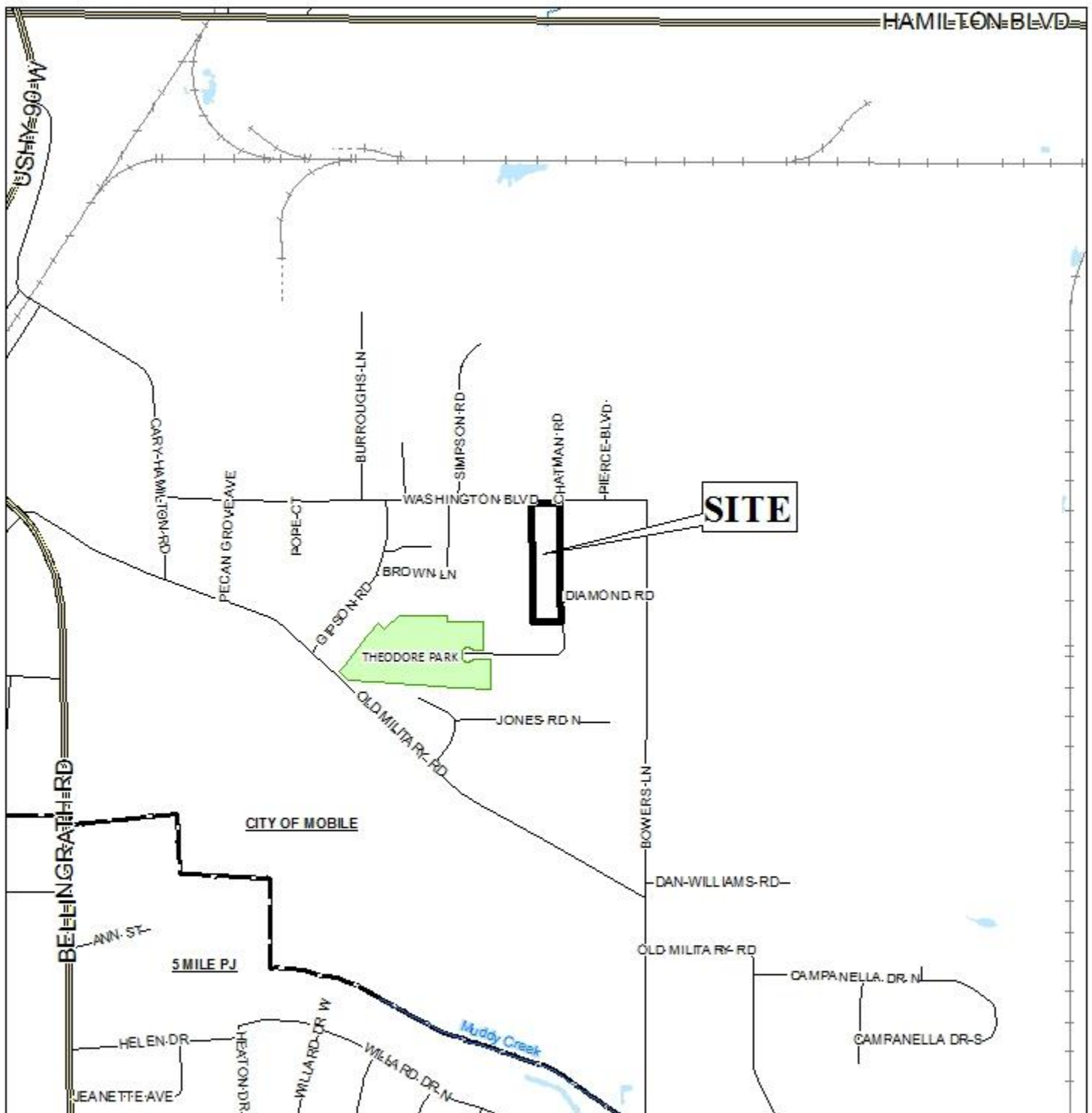
Based upon the preceding, and with a waiver of Sections V.D.3 and V.D.8 of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) dedication sufficient to provide 30' from centerline of Washington Boulevard;
- 2) revision of the 25-foot minimum building setback line to reflect dedication and depiction along Diamond Road;
- 3) revision of the lot sizes in square feet and acres to reflect dedication;
- 4) placement of a note on the Final Plat stating that each lot is limited to 1 curb-cut to Washington Boulevard, with the size, design, and exact location to be approved by Traffic Engineering, and conform to AASHTO standards;
- 5) placement of a note on the Final Plat stating Lot 2 is denied access to Diamond Road;

compliance with Engineering comments: *“The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Review and revise the written legal description or the label for the Point of Commencement. C. Provide and label the monument set or found at each subdivision corner. D. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. E. Provide the Surveyor’s Certificate and Signature. F. Provide the Surveyor’s, Owner’s (notarized), Planning Commission, and Traffic Engineering signatures. G. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. H. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. I. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures. J. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.”;*

- 6) compliance with Traffic Engineering comments: *“Each lot is limited to one curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.”;*
- 7) compliance with Urban Forestry comments: *“Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).; and*
- 8) compliance with Fire comments: *“All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).”*

LOCATOR MAP



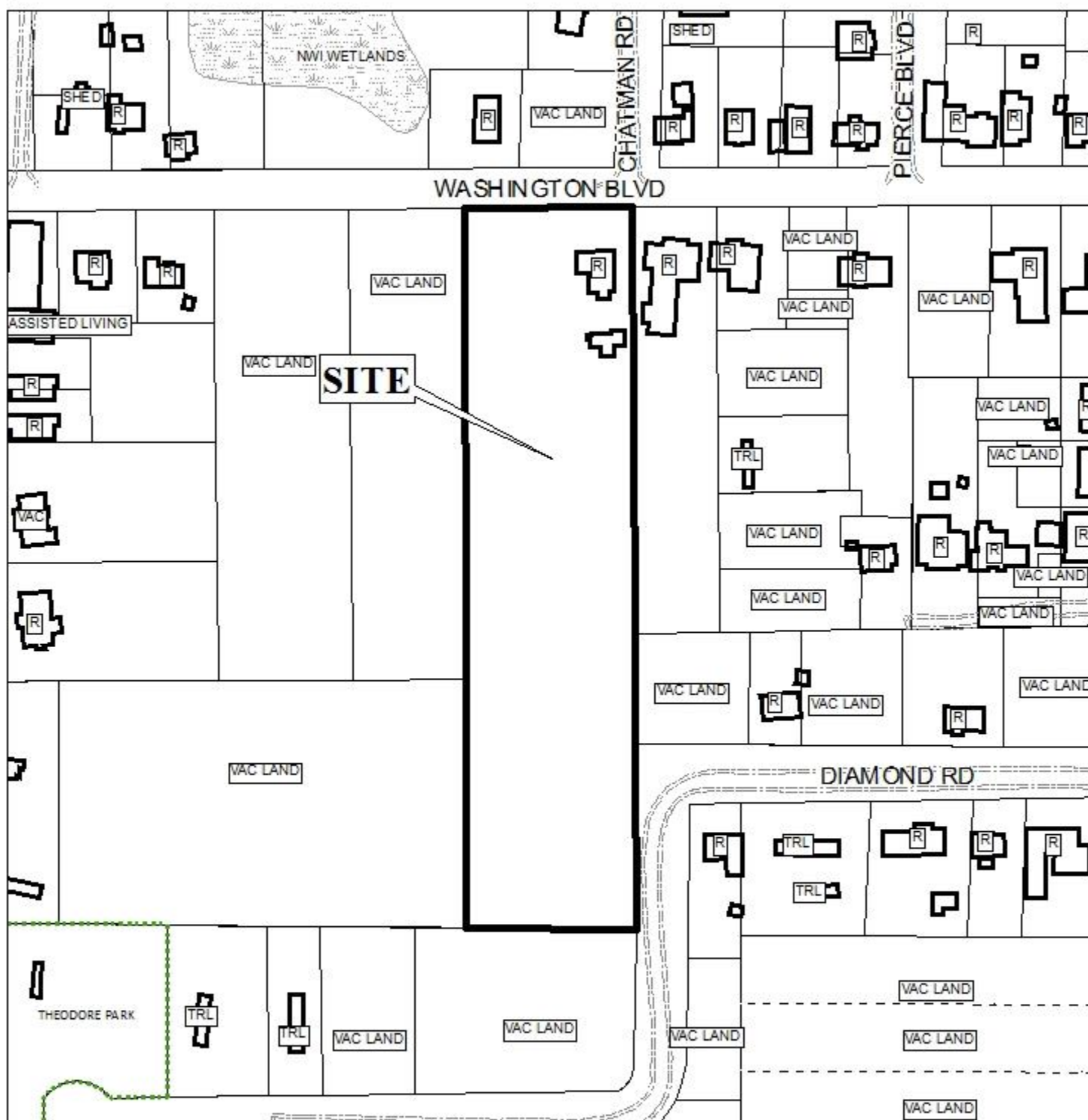
APPLICATION NUMBER 7 DATE October 1, 2015

APPLICANT Gior-Milton Plaza Subdivison

REQUEST Subdivison



GIOR-MILTON PLAZA SUBDIVISION

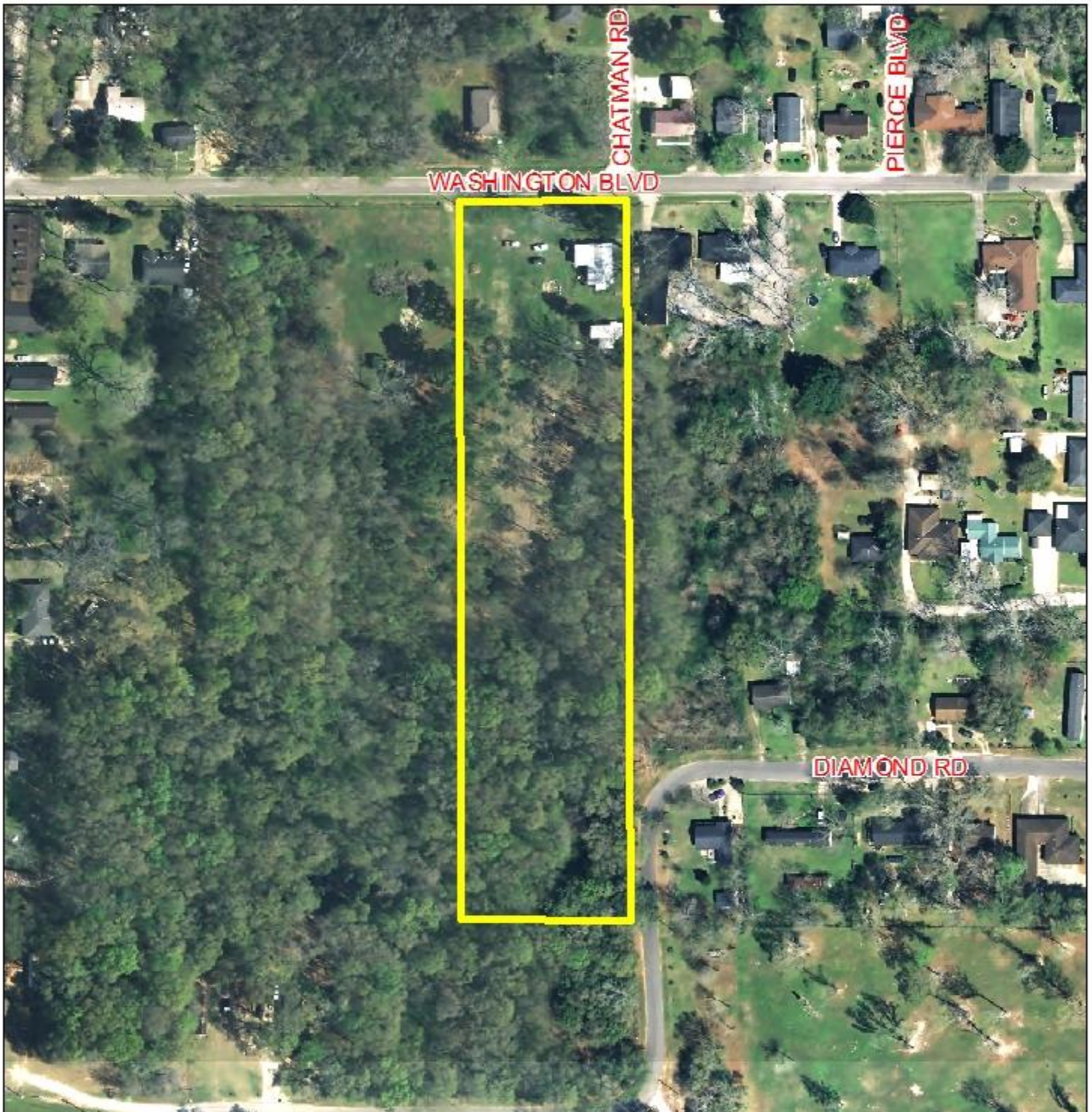


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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



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DETAIL SITE PLAN

WASHINGTON BLVD 50' R/W

195.40'

25' SETBACK

824.70'

LOT 1

LOT 2

824.70'

195.40'

DIAMOND RD 60' R/W

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NTS