

**SIDEWALK WAIVER REQUEST
STAFF REPORT****Date: March 23, 2017****NAME**

Cynthia Washington

LOCATION4625 Moffett Road
(Southeast corner of Moffett Road and Forest Cove Drive).**PRESENT ZONING**

LB-2, Limited-Neighborhood Business District

ENGINEERING**COMMENTS**

It appears that there is sufficient room within the ROW for the construction of a sidewalk that could be approved through the ROW Permit process.

TRAFFIC ENGINEERING**COMMENTS**

Moffett Road (U.S. Highway 98) is an ALDOT maintained roadway. Permit for sidewalk construction must be obtained from both City and ALDOT if a waiver is denied. This property was subdivided from a larger piece of property that abuts an elementary school. There is sidewalk partially in front of the school and also sidewalk within the neighborhood to the south. Standard location for sidewalk is 1' off the right-of-way. Construction of a sidewalk would allow pedestrians to walk on a designated path as far as practical away from the street. This is a better alternative than pedestrians walking on their own path typically close to the street because of overgrown grass and weeds from the adjacent undeveloped lots. Pedestrians will still travel this corridor with or without the sidewalks. Sidewalk construction at this location is recommended.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

REMARKS

The applicant is requesting a waiver for the construction of a sidewalk along Moffett Road and Forest Cove Drive.

The subject site is currently in the review process to be developed as a medical clinic. The applicant recently applied for a land disturbance permit, and were told they needed to provide a sidewalk, hence the current application.

The applicant states:

Moffett Road is a 4 lane hwy with high traffic that does not favor foot traffic. Addition of sidewalks along right-of-way of Moffett Rd extending down side of property of Forest Cove Dr may increase safety risks for pedestrians. Adjacent side of street on Forest Cove Dr where Wells Fargo Bank sits does not have sidewalks. In addition, sidewalks would not connect to any other sidewalks.

There was a sidewalk waiver for the property across Forest Cove Drive, on the already developed MAWSS Park Forest Plaza site, that was approved at the Planning Commission's December 4, 2014 meeting due to limited roadside space and the site's topography, neither of which is a factor at this location. There are sidewalks on the North side of Moffett Road at this location. Furthermore, this will be the first of four adjacent lots along Moffett Road to be developed between a residential neighborhood and an elementary school, making the presence of sidewalks for children and parents to utilize while traveling to the school desirable.

It should be noted that the Mobile City Council adopted a "complete streets" policy on May 31, 2011. The purpose of the complete streets policy is to support the design and construction of streets to enable safe access to all users, including pedestrians, bicyclists, transit riders, motorists, commercial and emergency vehicles, and for people of all ages and abilities. A waiver of the sidewalk, as requested, will limit accessibility for pedestrians.

Additionally, the site is within what the Map for Mobile Comprehensive Plan considers a Suburban Corridor, wherein the intent for development includes:

- Accommodation of all users: automobile, bicycle, pedestrian and transit
- Greater connectivity to surrounding neighborhoods
- Development concentrated in centers rather than in strips along the corridor
- Eventual increase in density with residential above retail and services
- Increased streetscaping
- Improve traffic flow

The site is bounded by to the North (across Moffett Road) by B-2, Neighborhood Business District; to the East by LB-2, Limited-Neighborhood Business District; to the South by R-1, Single-Family Residential District; and to the West (across Forest Cove Drive) by B-3, Community Business District. The provision of sidewalks at this location will provide greater connectivity to the adjacent neighborhood.

Because the character of the surrounding area is such that a sidewalk at this location would provide connectivity to adjacent properties, and because development or redevelopment of neighboring sites will be subject to the Map for Mobile's development guidelines, further facilitating such connectivity, a waiver of the construction of sidewalks along Moffett Road and Forest Cove Drive may not be appropriate at this time.

RECOMMENDATION

Based upon the preceding, this application for waiver of the sidewalk along Moffett Road and Forest Cove Drive is recommended for Denial.

LOCATOR MAP



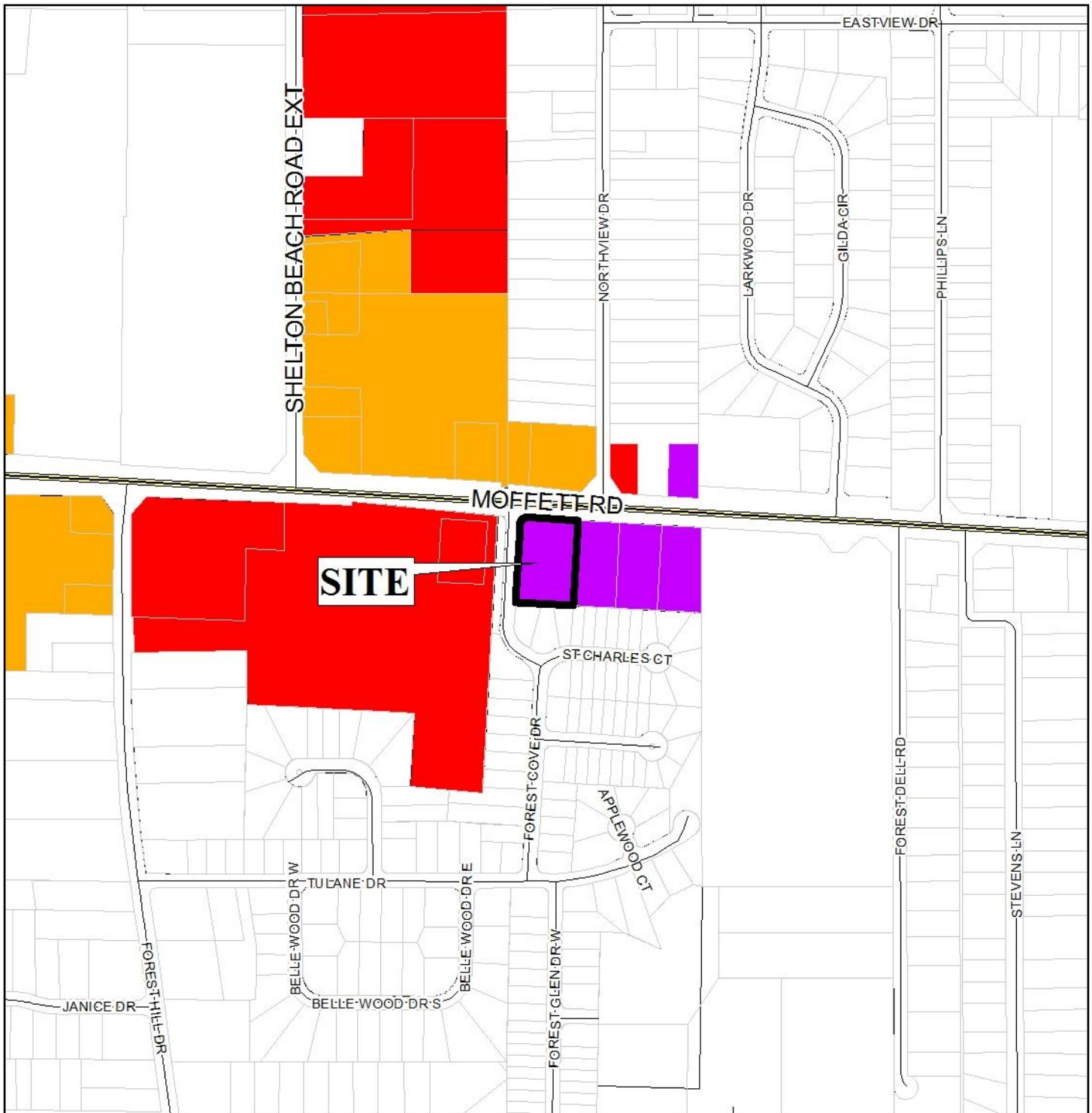
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LOCATOR ZONING MAP



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units to the north and residential units to the south.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

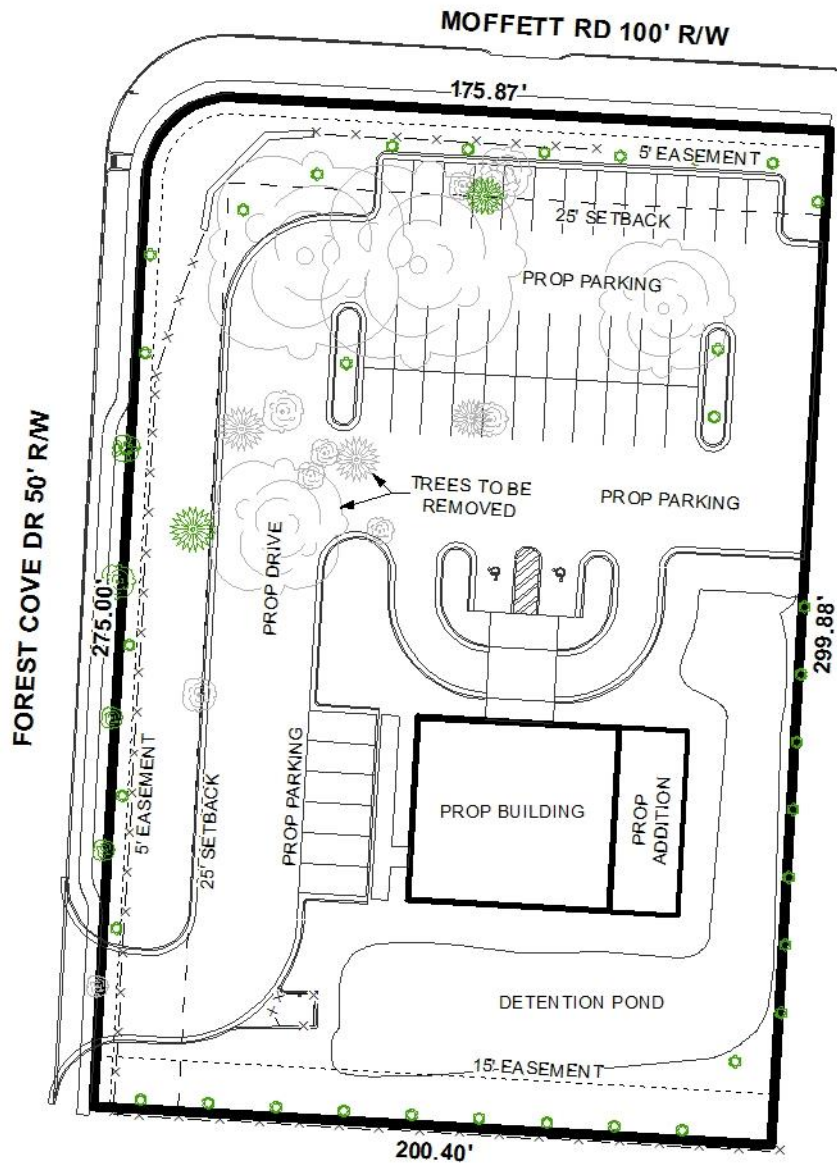


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SITE PLAN



The site plan illustrates the proposed building, proposed parking, setbacks, easements, trees to be removed, and detention pond.

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DETAIL SITE PLAN



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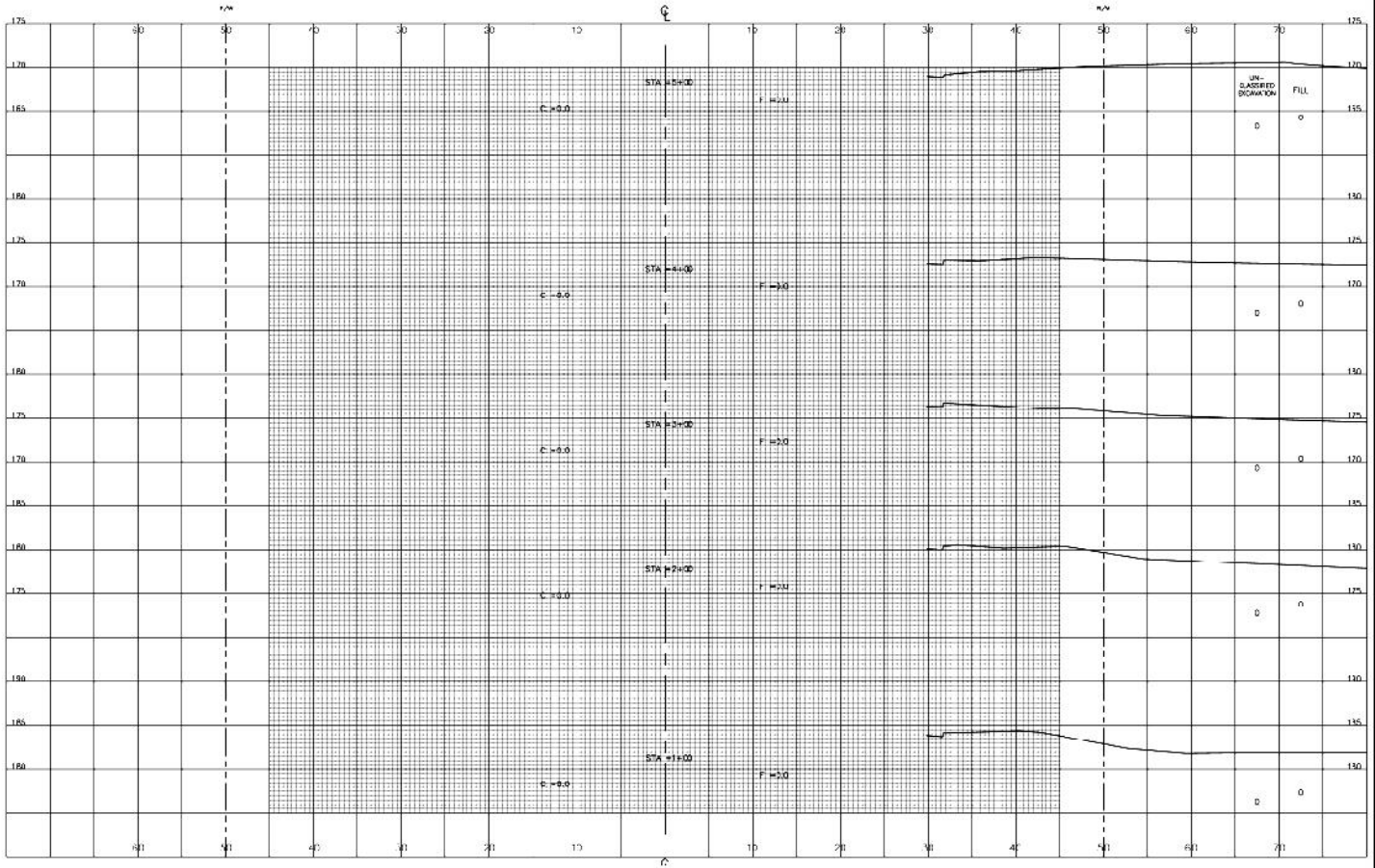
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DETAIL SITE PLAN



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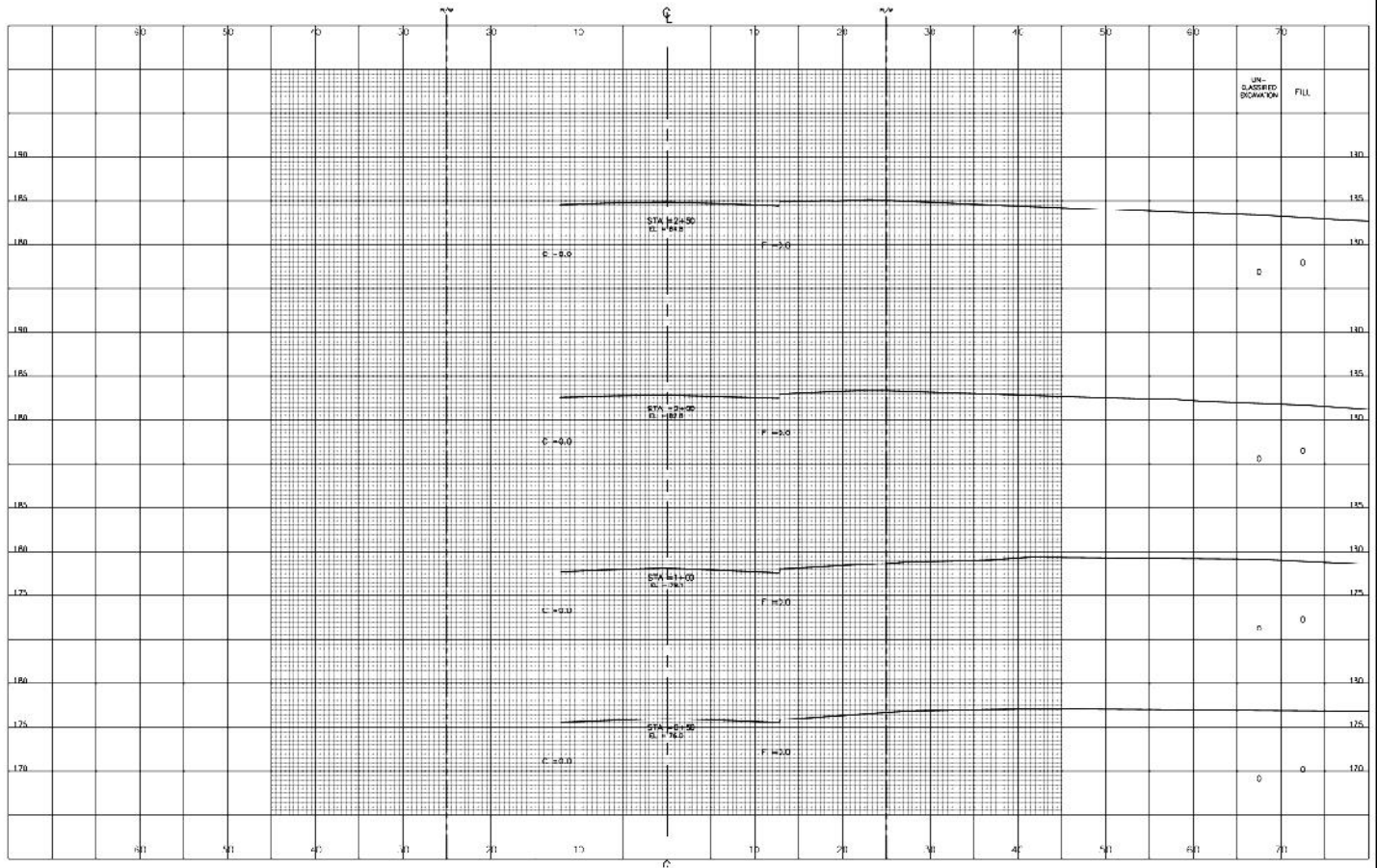
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DETAIL SITE PLAN



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