

## **CUMMINS SUBDIVISION**

**Engineering Comments:** The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide legible street names and label Ruby Street on the vicinity map.
- B. Show the existing lots for "Cummins Diesel Sales Corporation Commercial Subdivision" (MP 34, PG 34).
- C. Provide a legend as needed.
- D. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- E. Show and label the wetlands boundary. City GIS shows a potential for wetlands on the east side of the proposed subdivision.
- F. Show and label each and every Right-Of-Way and easement. See drainage and utility easements from "Cummins Diesel Sales Corporation Commercial Subdivision" (MP 34, PG 34).
- G. Provide and label the monument set or found at each subdivision corner.
- H. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- I. Provide the Surveyor's Certificate and Signature.
- J. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- K. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- L. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 25 - #66) the Lot(s) will receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.
- M. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- N. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- O. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures
- P. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

**Traffic Engineering Comments:** Interstate 65 Service Road is an ALDOT maintained roadway. Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Access to unopened Ruby Street and Warsaw Avenue is denied. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments received.

The preliminary plat illustrates the proposed 2-lot, 8.73± acre subdivision which is located on the East side of East I-65 Service Road North, 2/10± mile North of First Avenue, and is in Council District 1. The applicant states that the subdivision is served by city water and sanitary sewer.

In accordance with the Subdivision Regulations, the proposed lots are compliant with the minimum size requirements. The lot size information and minimum building setback line is illustrated on the preliminary plat and should be retained on the Final Plat, if approved.

The proposed Lot 2 has frontage along multiple streets: Interstate 65 Service Road, the western terminus of Warsaw Avenue, and the unopened right-of-way of Ruby Street. The existing rights-of-way width for all streets is sufficient and, as such, no dedication is required at this time. To protect adjacent residences in the Trinity Gardens neighborhood, per Section V.D.8. of the Subdivision Regulations, the provision of a 25' natural vegetative buffer park strip should be required along the Ruby Street right-of-way and should be depicted on the Final Plat, if approved.

As a means of access management, the proposed Lot 2 is denied access to Warsaw Avenue and the unopened right-of-way of Ruby Street. Lots 1 and 2 are both limited to the existing curbscuts, with any changes to the size, design and location to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. This note should appear on the Final Plat, if approved.

It should be pointed out that the preliminary plat depicts a drainage easement that spans the entire shared lot line of both proposed lots. Upon further review, it appears there may also be additional drainage easements within the proposed Lot 1 and along the entire exterior lot lines of both proposed lots. If approved, all easements should be depicted, along with a note on the Final Plat stating that no permanent structure(s) can be placed or constructed within any easement.

Based upon the preceding, the application is recommended for tentative approval, subject to the following conditions:

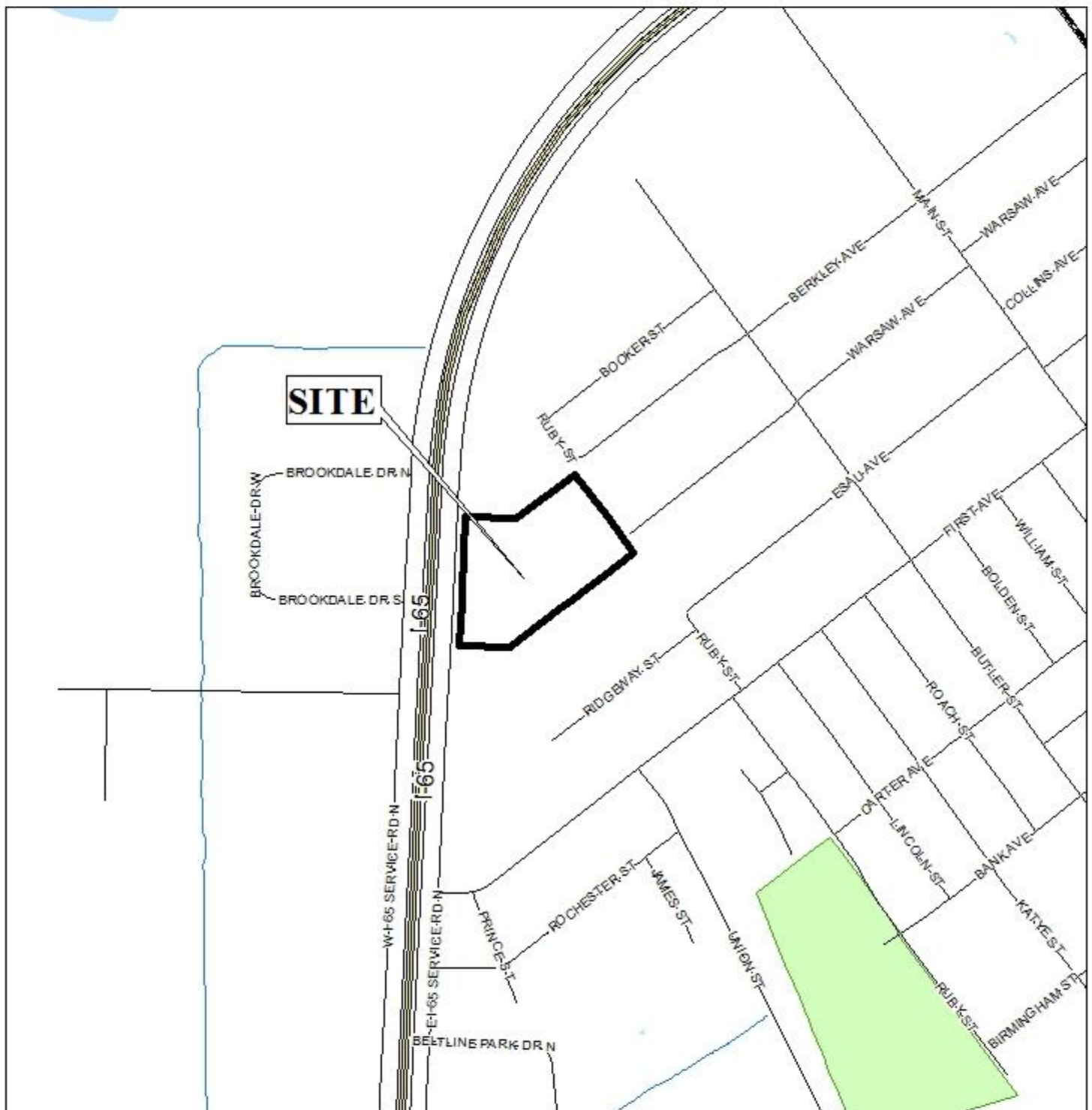
- 1) Depiction of a 25' natural vegetative buffer park strip on Lot 2 along the Ruby Street right-of-way on the Final Plat;
- 2) Depiction of all easements on the Final Plat for both lots;

- 3) Retention of the lot size information and the minimum building setback line on the Final Plat;
- 4) Placement of a note on the Final Plat stating: No permanent structure(s) can be placed or constructed within any easement;
- 5) Placement of a note on the Final Plat stating: Lot 2 is denied access to Warsaw Avenue and the unopened right-of-way of Ruby Street;
- 6) Placement of a note on the Final Plat stating: Both lots are limited to the existing curb-cuts, with any changes to the size, design and location to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards;
- 7) Compliance with Engineering Comments (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*  
*A. Provide legible street names and label Ruby Street on the vicinity map. B. Show the existing lots for "Cummins Diesel Sales Corporation Commercial Subdivision" (MP 34, PG 34). C. Provide a legend as needed. D. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. E. Show and label the wetlands boundary. City GIS shows a potential for wetlands on the east side of the proposed subdivision. F. Show and label each and every Right-Of-Way and easement. See drainage and utility easements from "Cummins Diesel Sales Corporation Commercial Subdivision" (MP 34, PG 34). G. Provide and label the monument set or found at each subdivision corner. H. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. I. Provide the Surveyor's Certificate and Signature. J. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. K. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. L. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 25 - #66) the Lot(s) will receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application. M. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. N. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. O. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures. P. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);*
- 8) Compliance with Traffic Engineering Comments (*Interstate 65 Service Road is an ALDOT maintained roadway. Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Access to unopened Ruby Street and Warsaw Avenue is denied. Any new on-site parking, including*

*ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*

- 9) *Compliance with Urban Forestry Comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).); and*
- 10) *Compliance with Fire Department Comments (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).).*

# LOCATOR MAP



APPLICATION NUMBER 7 DATE September 3, 2015

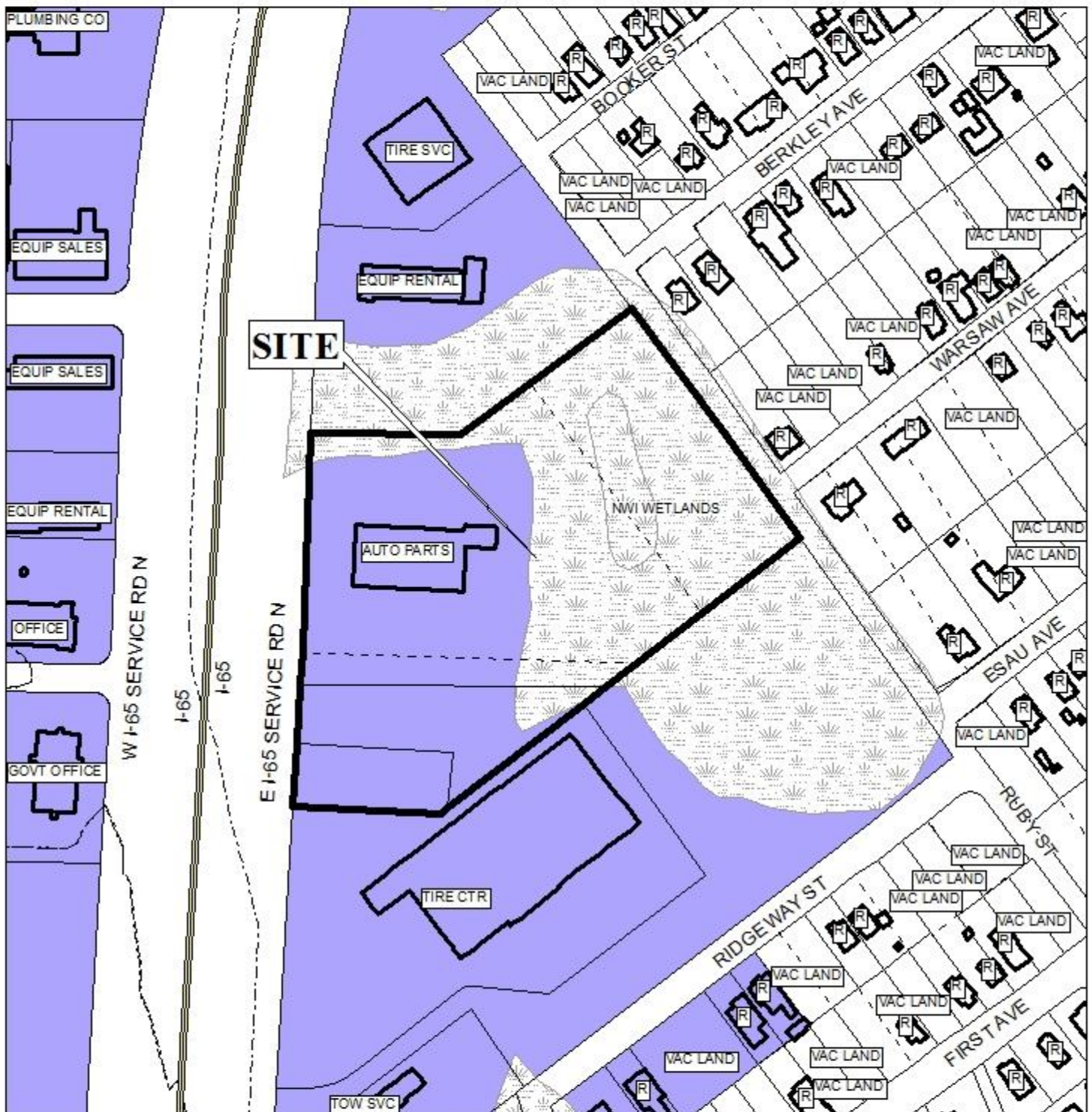
APPLICANT Cummins Subdivision

REQUEST Subdivision





# CUMMINS SUBDIVISION



APPLICATION NUMBER 7 DATE September 3, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





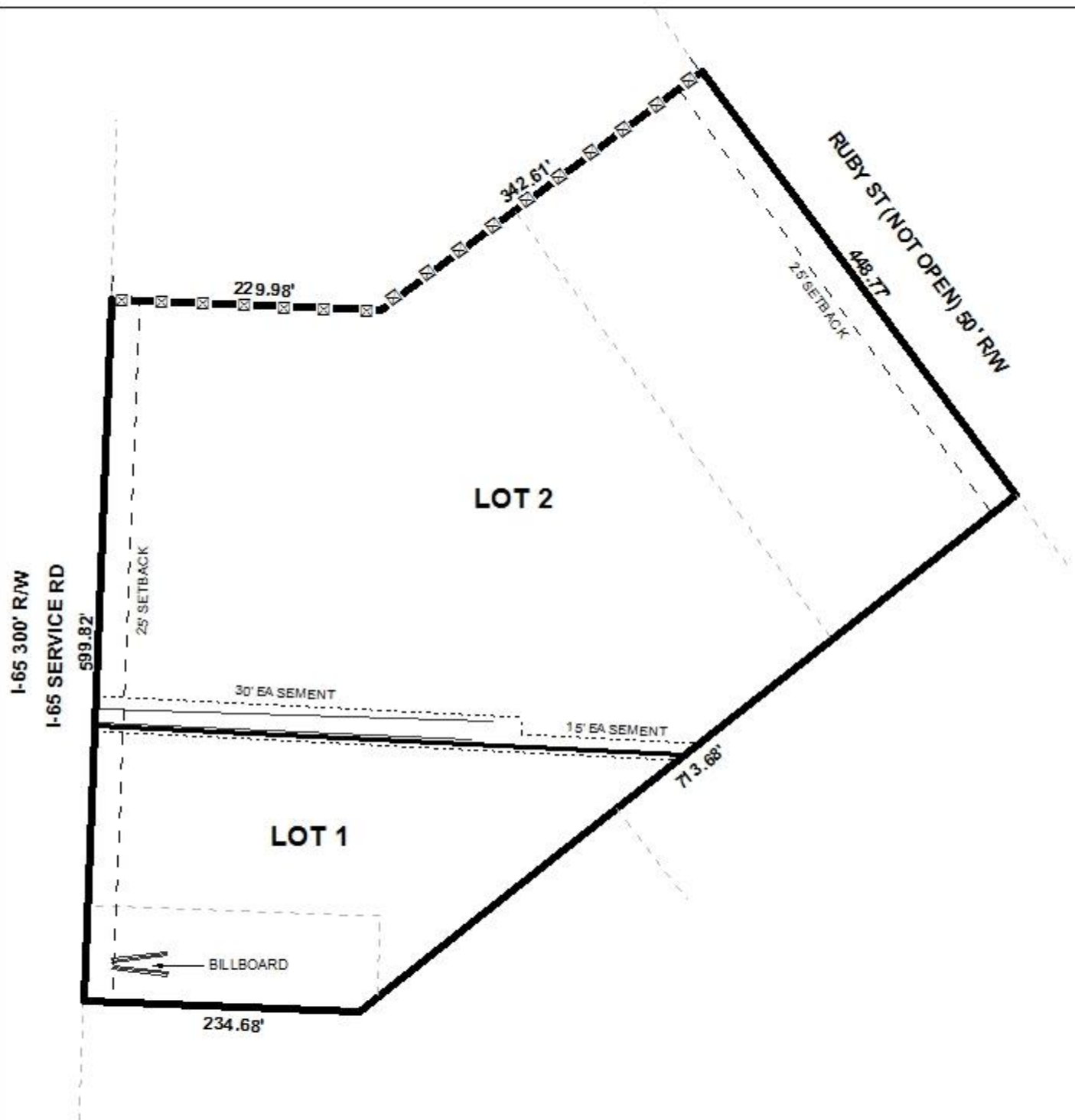
# CUMMINS SUBDIVISION



APPLICATION NUMBER 7 DATE September 3, 2015



# DETAIL SITE PLAN



APPLICATION NUMBER 7 DATE September 3, 2015

APPLICANT Cummins Subdivision

REQUEST Subdivision

