

BEXLEY LANE SUBDIVISION

Engineering Comments: The following comments should be addressed prior to acceptance and signature by the City Engineer: 1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 2. Provide a signature block and signature for the Traffic Engineering Department. 3. Note that the ROW is “Hereby Dedicated” on the Final Plat. 4. Show existing drainage and easements adjacent to the proposed lot.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Owner must consider the location of the existing traffic calming device that will remain in place when locating a driveway for this property.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: No comments

The plat illustrates the proposed 1.0 ± acre, 1-lot subdivision which is located on the North side of Bexley Lane, 220' ± West Charleston Court, and is in Council District 7. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create a legal lot of record from a single metes and bounds parcel. The lot size is labeled, and the proposed lot would exceed the minimum size requirements of Section V.D.2. of the Subdivision Regulations. The lot size should be retained in square feet and acres on the Final Plat, as on the preliminary plat, if approved.

The site fronts onto Bexley Lane, a minor street without curb and gutter, which is illustrated on the preliminary plat to have a right-of-way that varies. According to Section V.B.14. of the Subdivision Regulations, streets without curb and gutter should have a right-of-way width of 60 feet. The preliminary plat shows frontage proposed to be dedicated to the City of Mobile that would provide 25' from the centerline, however dedication to provide 30' from the centerline should be required.

The 25-foot minimum building setback line, required in Section V.D.9., is illustrated and labeled on the preliminary plat. If approved, the 25-foot building setback line should be retained on the Final Plat.

As a means of access management, a note should be placed on the Final Plat, if approved, stating that Lot 1 is limited to one curb cut to Bexley Lane, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

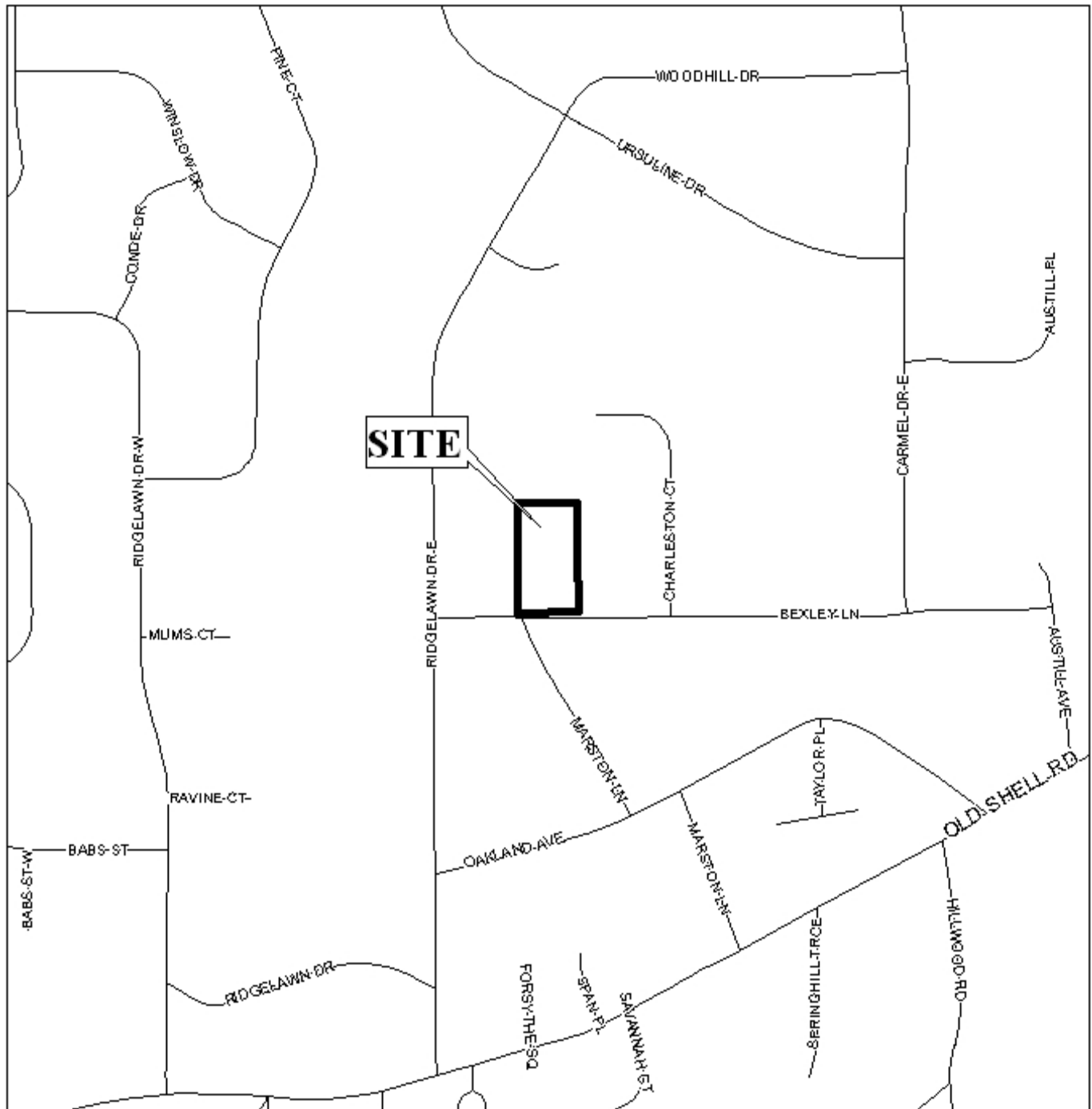
It should be noted that the preliminary plat illustrates a shed on the proposed lot that is 2.4' from the side property line. If approved, documentation should be submitted that the shed has been relocated to 8' from the side property line or a demolition permit should be obtained to remove the structure.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for tentative approval, subject to the following conditions:

- 1) dedication to provide 30' from the centerline as on the preliminary plat;
- 2) illustration of the 25' minimum building setback line along Bexley Lane adjusted to be measured from required dedication;
- 3) retention of the lot size in square feet and acres;
- 4) provision of documentation that the shed has been relocated to 8' from the side property line or obtaining of a demolition permit;
- 5) compliance with Engineering comments (*The following comments should be addressed prior to acceptance and signature by the City Engineer: 1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 2. Provide a signature block and signature for the Traffic Engineering Department. 3. Note that the ROW is "Hereby Dedicated" on the Final Plat. 4. Show existing drainage and easements adjacent to the proposed lot.*);
- 6) compliance with Fire Department comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*);
- 7) placement of a note on the Final Plat limiting Lot 1 to one curb cut to Bexley Lane, with the size, design, and location to be approved by Traffic Engineering and conform to AASHTO standards;
- 8) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.

LOCATOR MAP



APPLICATION NUMBER 7 DATE September 6, 2012
APPLICANT Bexley Lane Subdivision
REQUEST Subdivision



BEXLEY LANE SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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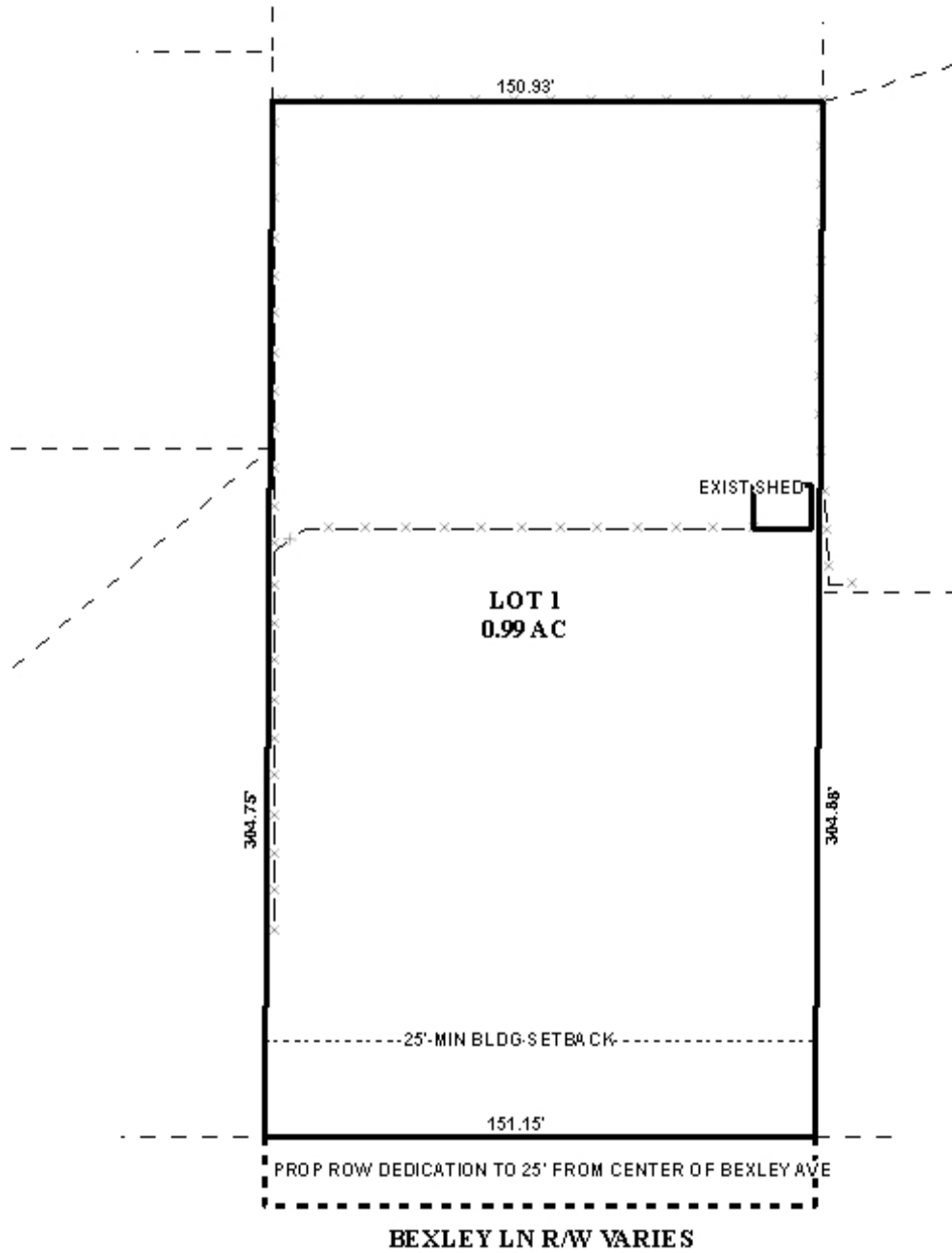
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APPLICATION NUMBER 7 DATE September 6, 2012



DETAIL SITE PLAN



APPLICATION NUMBER 7 DATE September 6, 2012

APPLICANT Bexley Lane Subdivision

REQUEST Subdivision

