

BENTLEY RIDGE SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has no water or sewer services available. .

The plat illustrates the proposed 2-lot, 3.4± acre subdivision located at the Southeast corner of Ellen Drive and Taylors Drive. The applicant states that the subdivision is served by public water and individual septic services.

The purpose of this application is to create two legal lots from two existing legal lots of record via the reconfiguration of the internal common property line. The site consists of two lots created from two subdivisions created and recorded when the area was under County subdivision jurisdiction and prior to the area coming within the City's Planning Jurisdiction. One was Scrub Oak Subdivision, and the other was Taylor's East Ridge Subdivision.

Both lots would have frontage on Ellen Drive, a minor street with a current 50' right-of-way width and without curb and gutter. As the Subdivision Regulations require a 60' right-of-way width for such, dedication would be required to provide 30' from the centerline of Ellen Drive. Lot 1A would also have frontage on Taylor's Drive, a private road which was recorded with Taylor's East Ridge Subdivision, with a 50' right-of-way. As a means of access management, a note should be required on the Final Plat stating that each lot is limited to one curb cut to Ellen Drive, with the size, design and location to be approved by County Engineering and conform to AASHTO standards. Lot 1A should also be limited to the existing curb cut to Taylor's Drive, in compliance with County Engineering requirements.

No minimum building setback line is indicated on the plat. Therefore, the plat should be revised to indicate a 25' minimum building setback line along Ellen Drive for both lots, as measured from any required dedication. The plat should be revised to also indicate a 25' minimum building setback line along Taylor's Drive for Lot 1A.

The proposed lots meet the minimum size requirements of the Subdivision Regulations; however, the lots are not labeled with their sizes on the preliminary plat. Therefore, the plat should be revised to label the lots with their sizes in square feet and acres, after any required dedication, or a table should be furnished on the Final Plat providing the same information.

The site is located within the J.B. Converse watershed, the primary drinking water supply for the Mobile Area Water and Sewer System. Section V.A.5. of the Subdivision Regulations contains standards matching those of Mobile County for development within the watershed; thus the site must be designed so that no field lines or septic tanks are constructed or maintained within a “flood prone area” as designated by FEMA, or within a “Buffer Zone” as defined in Section II, Definitions. Furthermore, within the watershed, storm water detention facilities are required in any Subdivision. Detention areas must be designed to provide a minimum detention capacity to accommodate the volume of a 50 year post development storm, with a maximum release rate equivalent to the 10 year storm pre-development rate. A licensed Professional Engineer must certify, prior to the recording of the final plat, that the design of the Subdivision and its storm water detention features are designed in accord with these requirements. Any storm water detention facility must be shown in the plans and on the recorded subdivision plat as a common area not maintained by the City of Mobile, Mobile County or the State of Alabama.

All Subdivisions shall use “Best Management Practices” for water quality protection as identified in The Use of Best Management Practices (BMPs) in Urban Watersheds – EPA, per the requirements of Section V.A.5. of the Subdivision Regulations.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the Final Plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

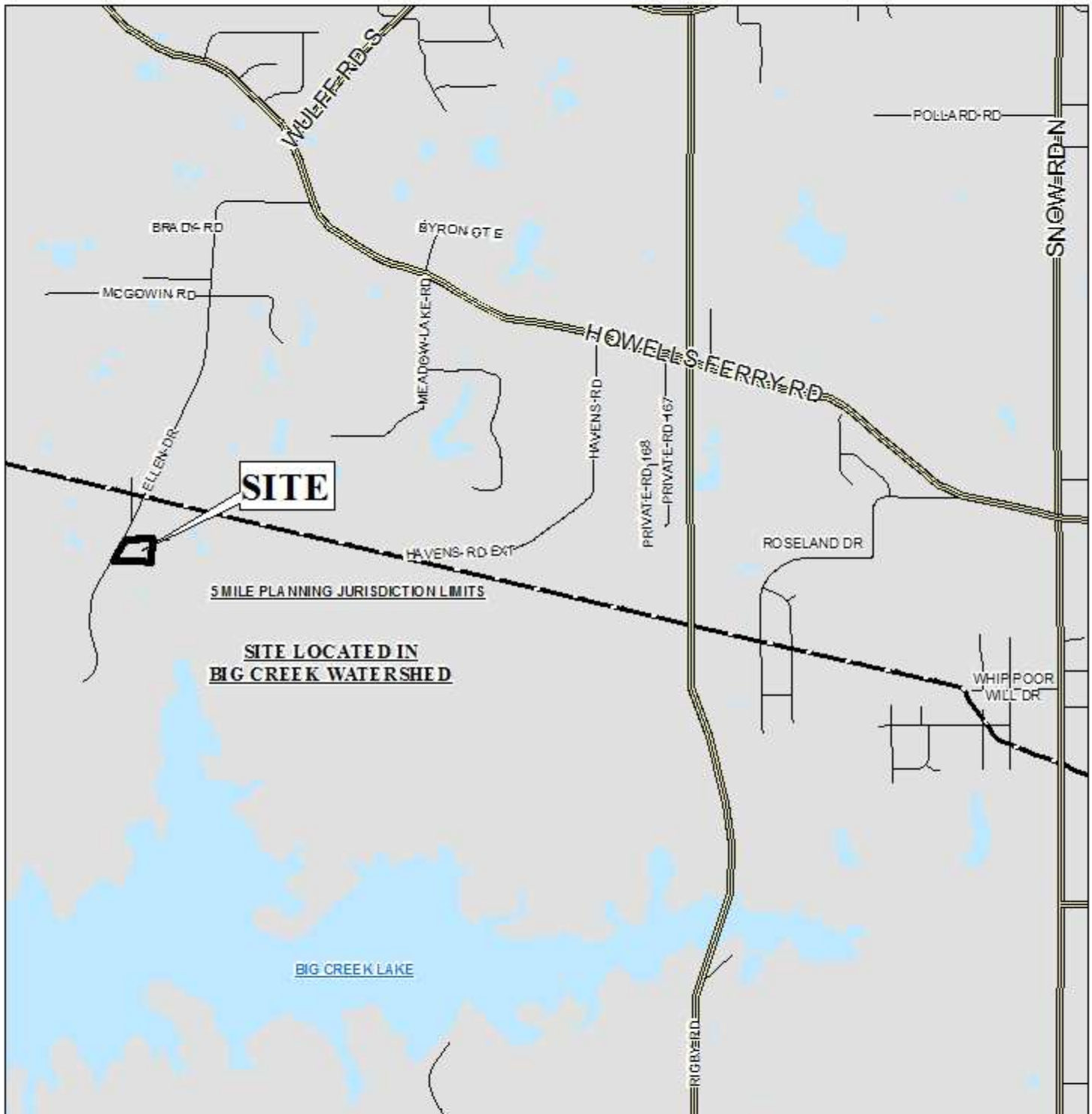
A note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) dedication to provide 30' from the centerline of Ellen Drive;
- 2) placement of a note on the Final Plat stating that each lot is limited to the existing curb cut to Ellen Drive, with the size, design and location to be approved by County Engineering and conform to AASHTO standards;
- 3) placement of a note on the Final Plat stating that Lot 1A is limited to one curb cut to Taylor's Drive, in compliance with County Engineering requirements;
- 4) revision of the plat to indicate a 25' minimum building setback line along Ellen Drive for both lots, as measured from any required dedication;

- 5) revision of the plat to indicate a 25' minimum building setback line along Taylor's Drive for Lot 1A;
- 6) revision of the plat to label the lots with their sizes in square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 7) provision of a minimum detention capacity volume of a 50 year post development storm, with a maximum release rate equivalent to the 10 year storm pre-development rate, and the placement of a note on the final plat stating that the development has been designed to comply with all other storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, as well as the detention and release rate requirements of Mobile County for projects located within the Converse watershed, prior to the obtaining of permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 8) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 9) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations; and
- 10) compliance with the Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.).*

LOCATOR MAP



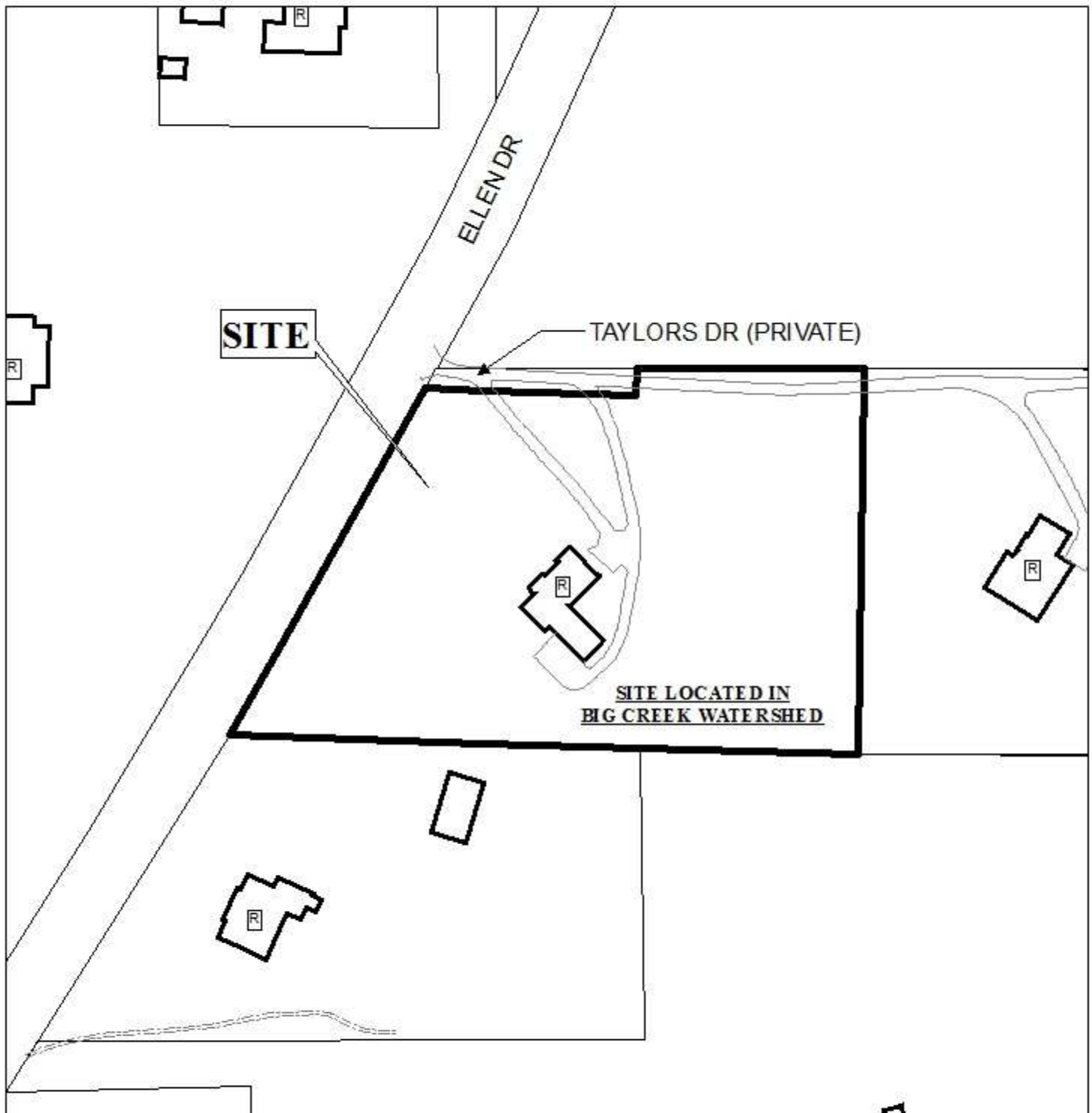
APPLICATION NUMBER 7 DATE July 17, 2014

APPLICANT Bentley Ridge Subdivision

REQUEST Subdivision



BENTLEY RIDGE SUBDIVISION



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



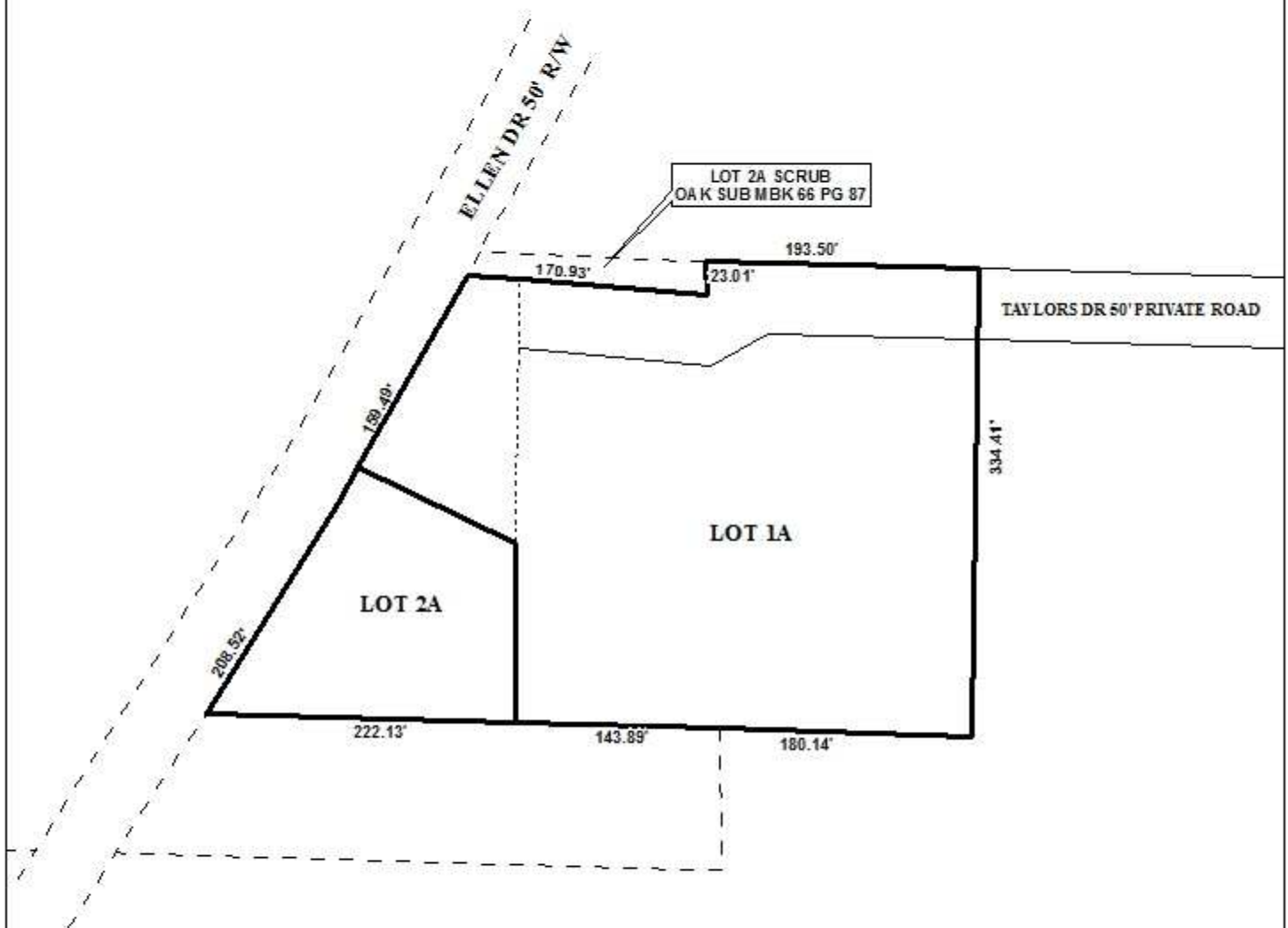
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DETAIL SITE PLAN



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