

AUDUBON COVE SUBDIVISION

Engineering Comments: Engineering requests dedication of Flood Plain easement. Minimum finished floor elevation required on each lot. Stormwater detention must be achieved above the 100-year flood elevation which is not as shown on the preliminary plat. Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

The plat illustrates the proposed 57 lot, 58 acre subdivision which is located at the Southwest corner of Higgins Road and Audubon Drive, extending South and West to the Southern terminus of Clemson Drive, and to the Northeast corner of Cole Drive and Audubon Drive, and is located in City Council District 4. The site is served by public water and sewer.

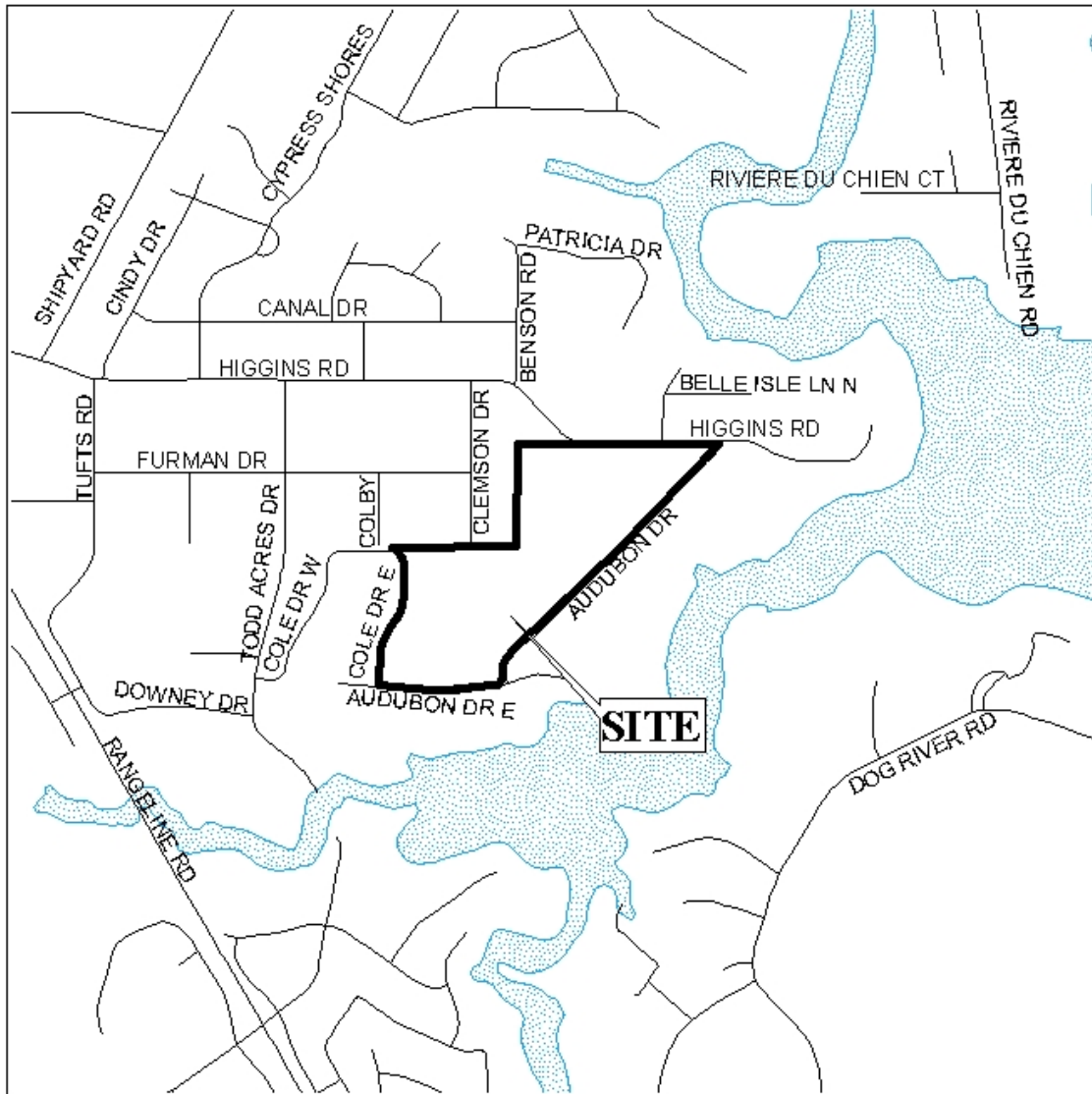
The site was originally approved as an 88-lot subdivision in August 2003, and an 80 lot subdivision in March 2004. The configuration has changed again and the number of lots has been reduced, hence this application.

There are wetlands located on the site, thus the area could be considered environmentally sensitive; therefore, the approval of all federal, state and local agencies would be required.

There are eight flag-shaped lots within the subdivision, thus a waiver of Section V.D.3., would be required. While flag-shaped lots are typically discouraged, due to the wetlands and the fact that the flag lots are clustered such that no more than two flag lots have adjoining access points, with a limitation on curb cuts, a waiver of Section V.D.3. would be appropriate.

With a waiver of Section V.D.3, the plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the approval of all applicable federal, state and local agencies; 2) the placement of a note on the final plat stating that Lots 6-7; 28-30, and 33-35 will share one curb cut; and 3) full compliance with the City Engineering Comments (must comply with all stormwater and flood control ordinances; any work performed in the right of way will require a right of way permit; developer must provide an approved outfall into a City of Mobile maintained system at any point of discharge where one does not exist; this development contains one or more points of discharge where an acceptable outfall does not exist, thus, the developer will be required to provide outfall approved by the City Engineer).

LOCATOR MAP



APPLICATION NUMBER 7 DATE November 18, 2004

APPLICANT Audubon Cove Subdivision

REQUEST Subdivision



NTS

AUDUBON COVE SUBDIVISION

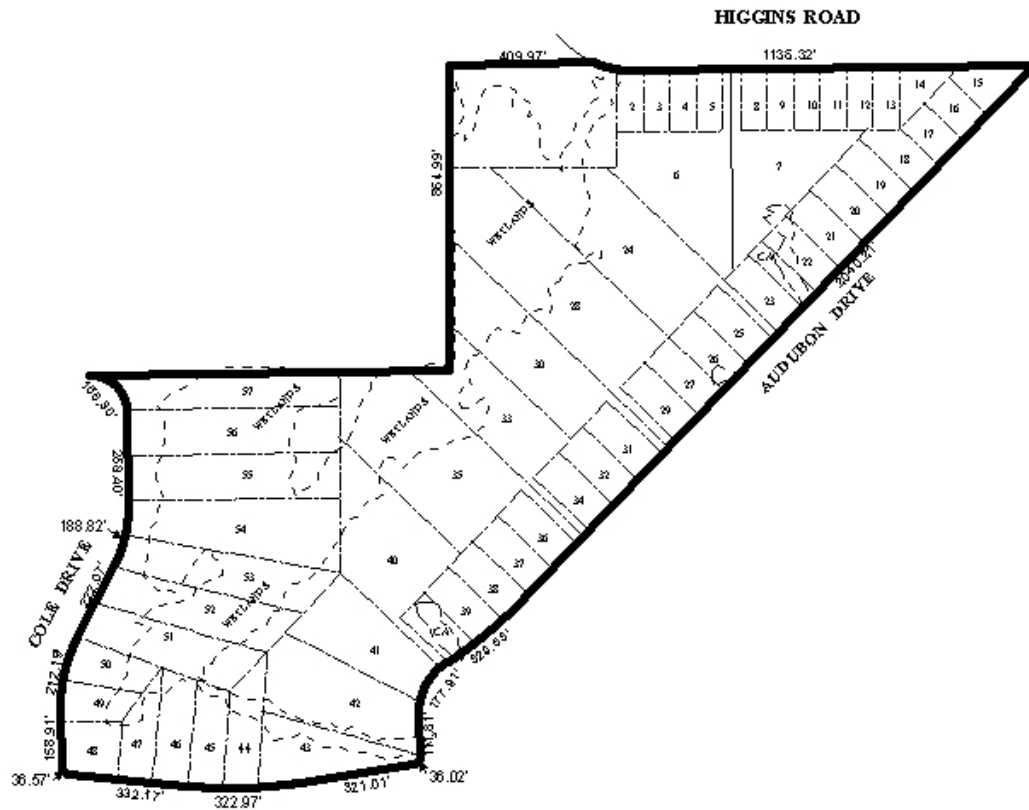


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LEGEND



SUBDIVISION PLAT



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