

A S SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWSS Comments: No comments.

The plat illustrates the proposed 3 lot, 7.88 ± acre subdivision which is located on the South side of Airport Boulevard, 700 feet ± West of Snow Road. The applicant states that the subdivision is served by city water and sanitary sewer systems.

The purpose of this application is to create 3 legal lots of record from 1 legal lot. However, the preliminary plat illustrates the removal of a portion of parcel R022708280000131. (Lot 1), which currently has a MAWSS lift station. To remove the lift station from the parcel, it may be a separate lot, combined with another parcel and be included in this subdivision or remain in proposed Lot 1.

The site fronts on Airport Boulevard, a major street, as illustrated on the Major Street Plan with a planned 100-foot right-of-way. The plat indicates a current right-of-way width of 80-feet along the front of the property. However, the preliminary plat illustrates the dedication of 10-feet to provide 50-feet from the centerline of Airport Boulevard.

No building setback line is indicated on the plat; therefore the plat should be revised to indicate a 25' minimum building setback line along Airport Boulevard as measured from any required right-of-way dedication.

The plat proposes two curb-cuts for the 3 lot subdivision with Lots 1 and 2 sharing a curb-cut, and Lot 3 having its own curb-cut. As a means of access management and to allow the developer more flexibility, there should be a note on the Final Plat limiting the development to two curb-cuts with the location, size and design to be approved by Mobile County Engineering and to conform to AASHTO standards.

The proposed Lot 1 is also labeled as “Future Development”. The “Future Development” label should be removed from the Final Plat, as typically such a label is only allowed if the remaining area is larger than 20 acres.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should be illustrated on the Final Plat.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the Final Plat, if approved, stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

The lot sizes are not labeled on the plat, thus the plat should be revised to indicate their size in square feet.

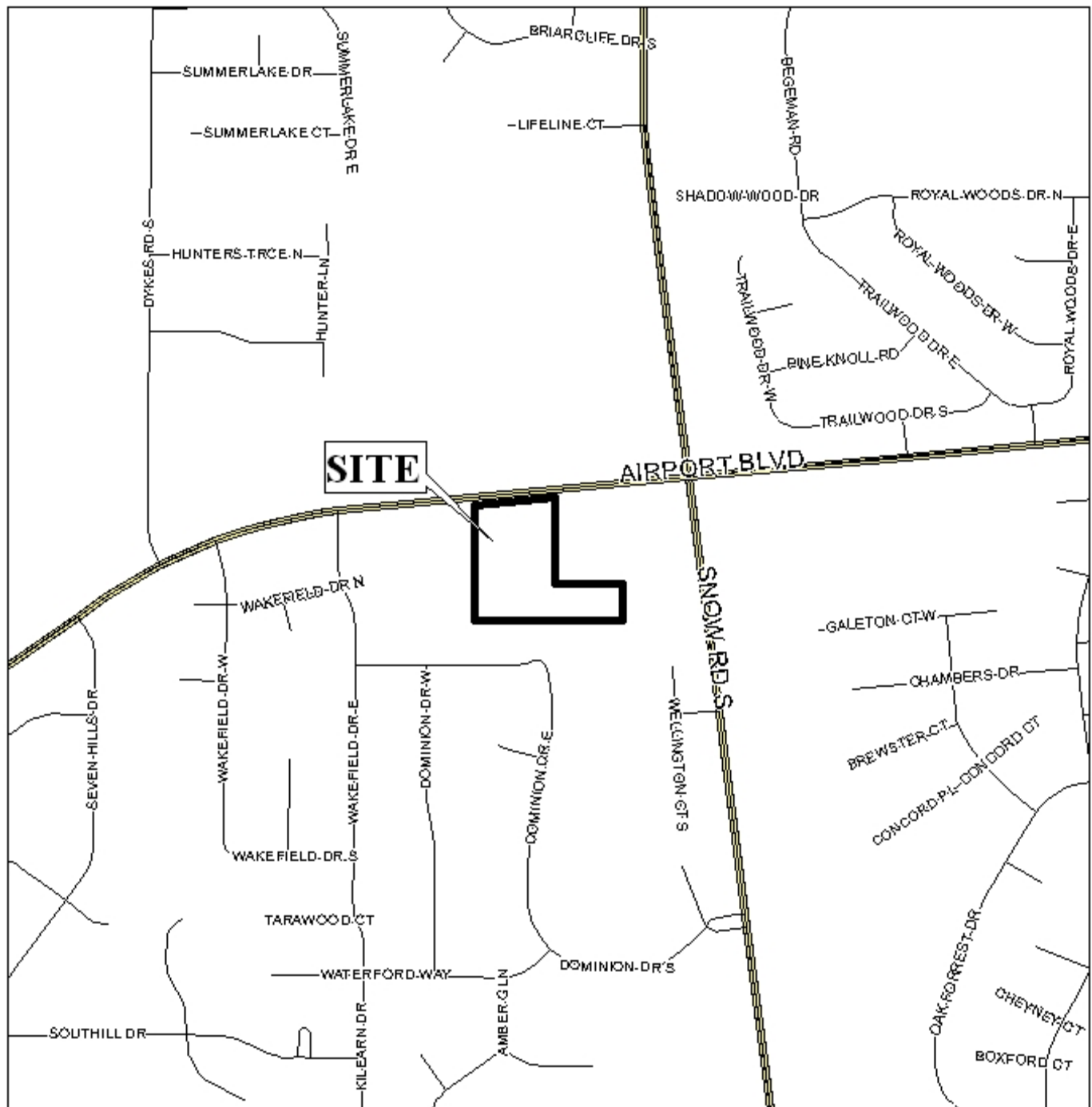
This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

Based on the preceding, the application is recommended for Holdover, subject to the following conditions:

- 1) the applicant submit a revised preliminary plat illustrating the inclusion of the area of the MAWSS lift station within the proposed Lot 1, or establishing the MAWSS lift station as a separate lot of record;
- 2) placement of a note on the Final Plat limiting the development to 2 curb-cuts with the location, size and design to be approved by Mobile County Engineering and to conform to AASHTO standards;
- 3) depiction of the 25-foot minimum building setback line on the Final Plat;
- 4) placement of lot area size labeling, in square feet, on the Final Plat;
- 5) placement of the note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities;
- 6) placement of the note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for wetland and floodplain issues, prior to the issuance of any permits or land disturbance activities;
- 7) placement of the note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations; and
- 8) placement of the note on the Final Plat stating that development “*Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to*

comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”

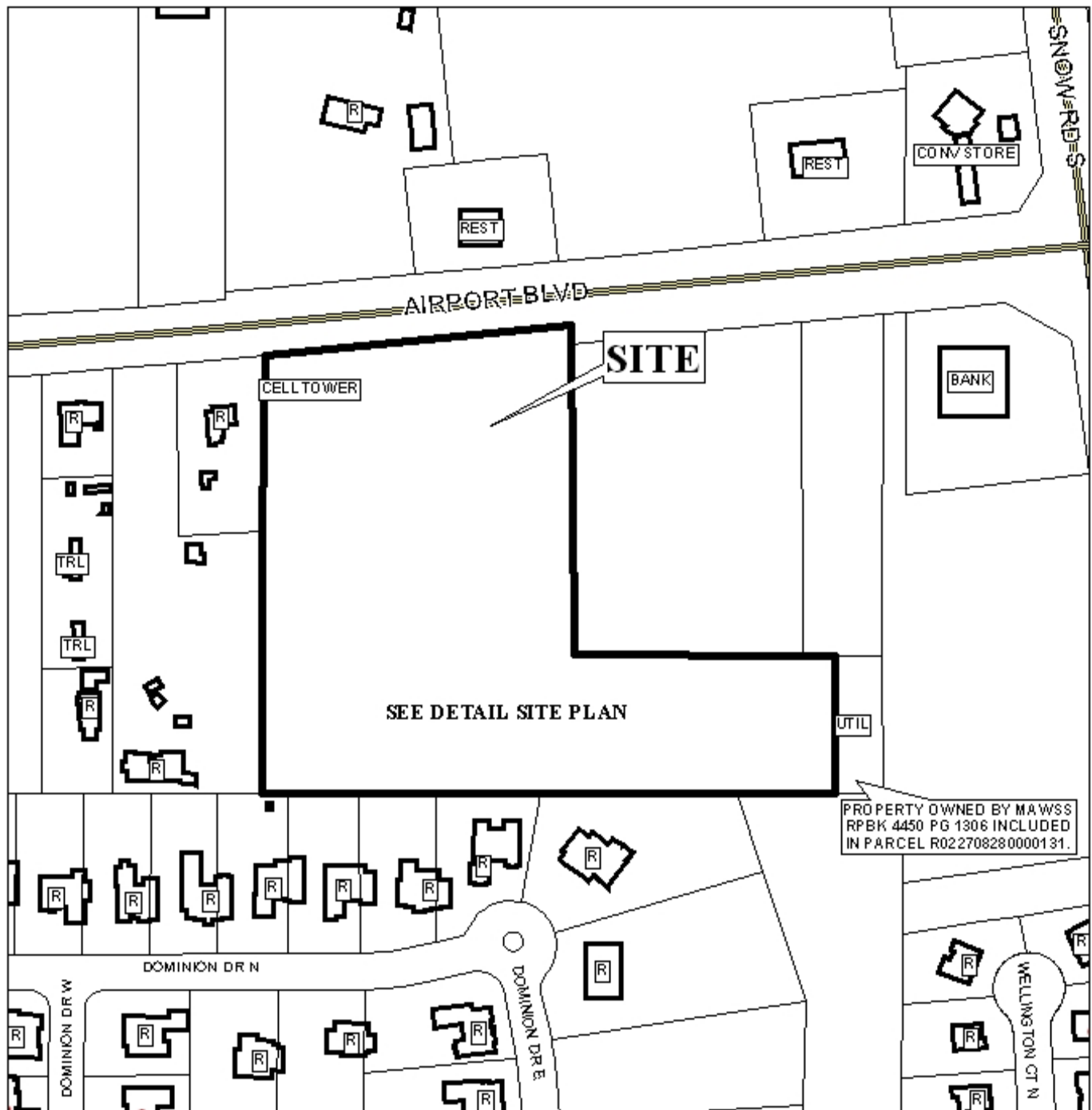
LOCATOR MAP



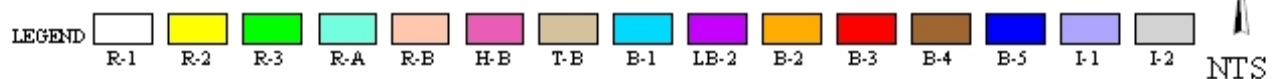
APPLICATION NUMBER 7 DATE November 18, 2010
APPLICANT A S Subdivision
REQUEST Subdivision



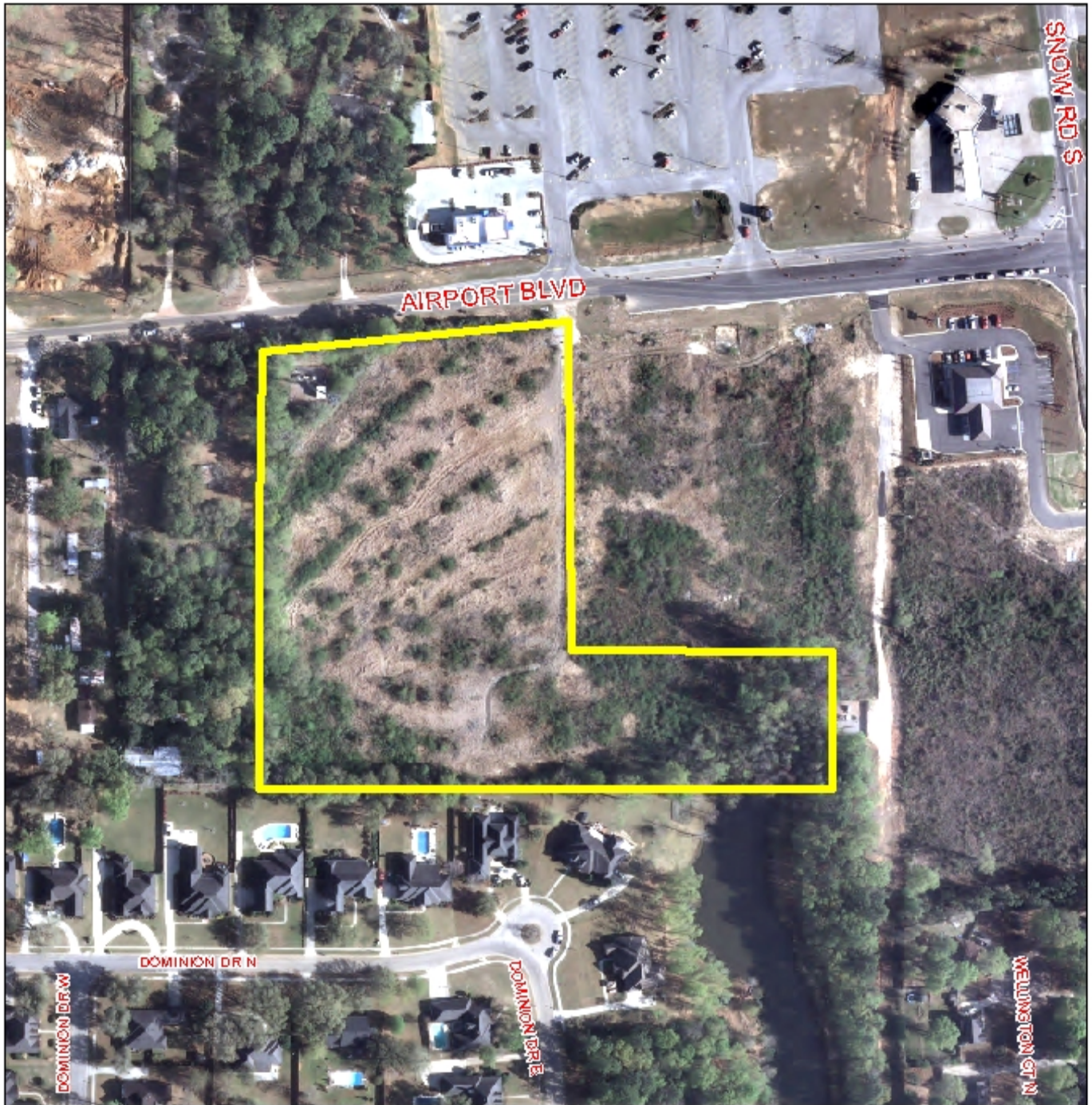
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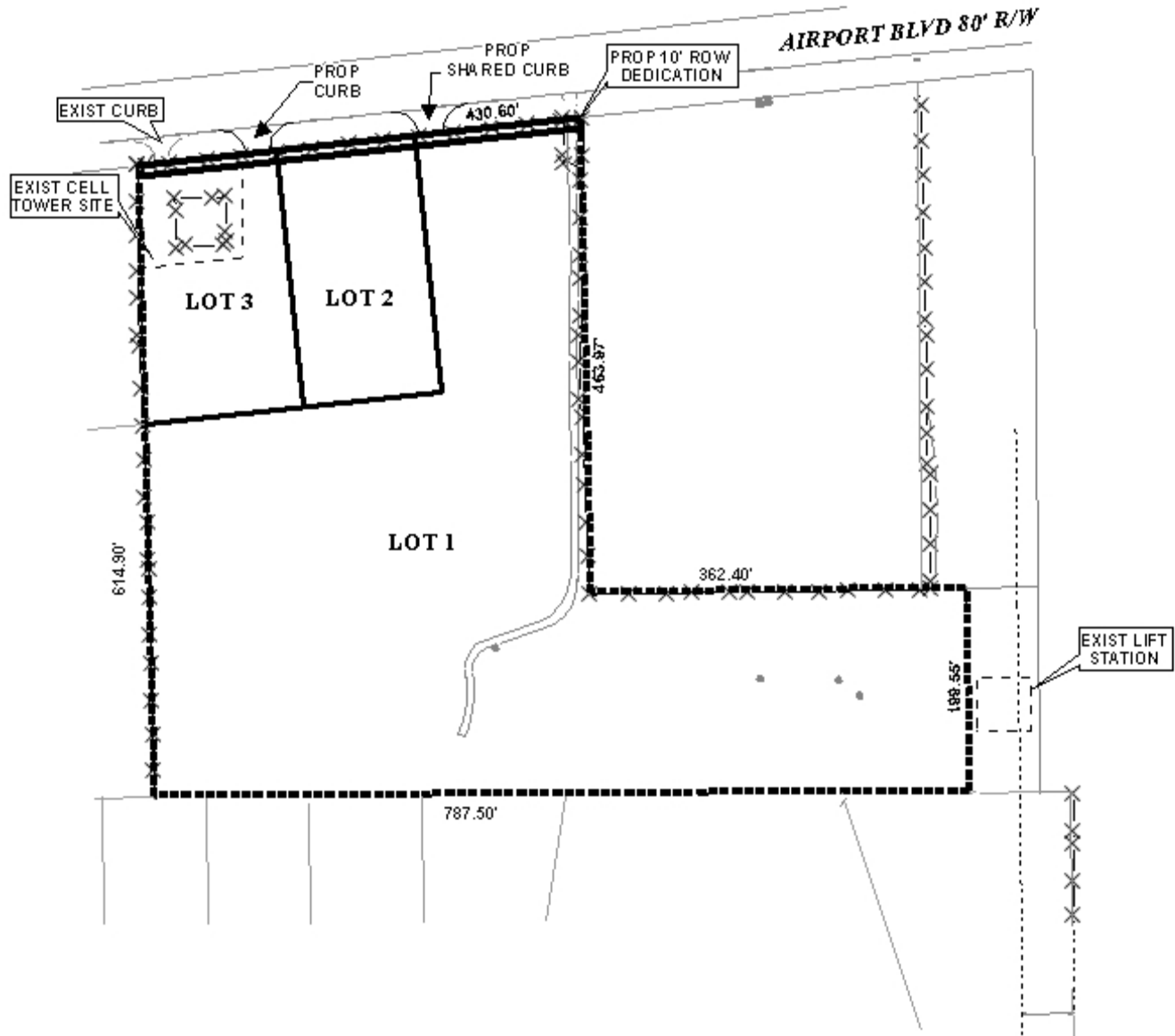


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NTS

DETAIL SITE PLAN



APPLICATION NUMBER 7 DATE November 18, 2010
APPLICANT A S Subdivision
REQUEST Subdivision

