

ANDERS PLACE SUBDIVISION

Engineering Comments: The following comments should be addressed prior to review, acceptance and signature by the City Engineer: 1. submit a copy of the recording information for the vacated easement. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 2. A signature from the Traffic Engineering Department. 3. Add a note to the Plat stating that storm water detention will be required for any unapproved development (since 1984) and any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045). 4. Correct street name shown on plat.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

The plat illustrates a proposed 1-lot 0.9± subdivision which is located on the South side of Anders Place, 275' East of its West terminus, and is in Council District 4. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create a single legal lot of record from two existing legal lots of record. The application will combine tow developed lots so that an accessory structure built on the Eastern-most lot, without permits, be brought into compliance with the requirements of the Zoning Ordinance. The lot sizes are labeled, and the proposed lot would exceed the minimum size requirements of Section V.D.2. of the Subdivision Regulations. The lot size info should be revised to reflect the size of the new lot.

The site fronts onto Rothfield Place, a minor street without curb and gutter, which is illustrated on the preliminary plat to have a right-of-way of 50'. According to Section V.B.14. of the Subdivision Regulations, streets without curb and gutter should have a right-of-way width of 60-feet however, this requirement should be waived in this instance due to the nature of this application.

A 40-foot minimum building setback line is illustrated on the preliminary plat, which exceeds the requirements of Section V.D.9. of 25'.

Each lot has an existing curb-cut, however the curb-cut on the Eastern lot was installed without a Right-of-Way permit. The proposed lot should be limited to a maximum of two curb-cuts, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

It should be noted that the preliminary plat illustrates an existing that is within an existing 10' drainage easement that is illustrated to be vacated. If approved, documentation should be submitted that the drainage easement has been successfully vacated prior to the signing of the Final Plat.

It should be noted that preliminary plat illustrates the name of the street as "Rotheridle Place". If approved, the correct spelling should be illustrated on the Final Plat.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, and with waiver of Section V.B.14. the application is recommended for tentative approval, subject to the following conditions:

- 1) correction of the lot size in square feet and acres;
- 2) correction of the spelling of the street name (Rothfield Place) on the Final Plat;
- 3) provision of documentation that the easement has been vacated prior to signing Final Plat;
- 4) compliance with Engineering comments (*The following comments should be addressed prior to acceptance and signature by the City Engineer:* 1. submit a copy of the recording information for the vacated easement. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 2. A signature from the Traffic Engineering Department. 3. Add a note to the Plat stating that storm water detention will be required for any unapproved development (since 1984) and any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045). correct street name shown on plat
- 5) compliance with Fire Department comments (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);
- 6) placement of a note on the Final Plat limiting the Lot to two curb-cuts to Rothfield Place, with the size, design, and location to be approved by Traffic Engineering and conform to AASHTO standards;
- 7) obtaining of a Right-of-Way permit, after the fact, for the Eastern-most curb-cut

- 8) obtaining of all required building permits and approvals, after the fact, for the accessory structure built on the Eastern portion of the site; and ;
- 9) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.

LOCATOR MAP



APPLICATION NUMBER 7 DATE December 6, 2012
APPLICANT Anders Place Subdivision
REQUEST Subdivision

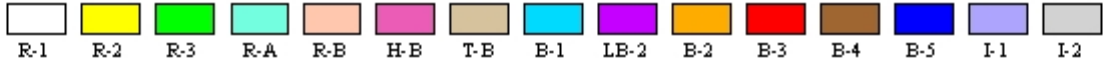
N
NTS

ANDERS PLACE SUBDIVISION



APPLICATION NUMBER 7 DATE December 6, 2012

LEGEND



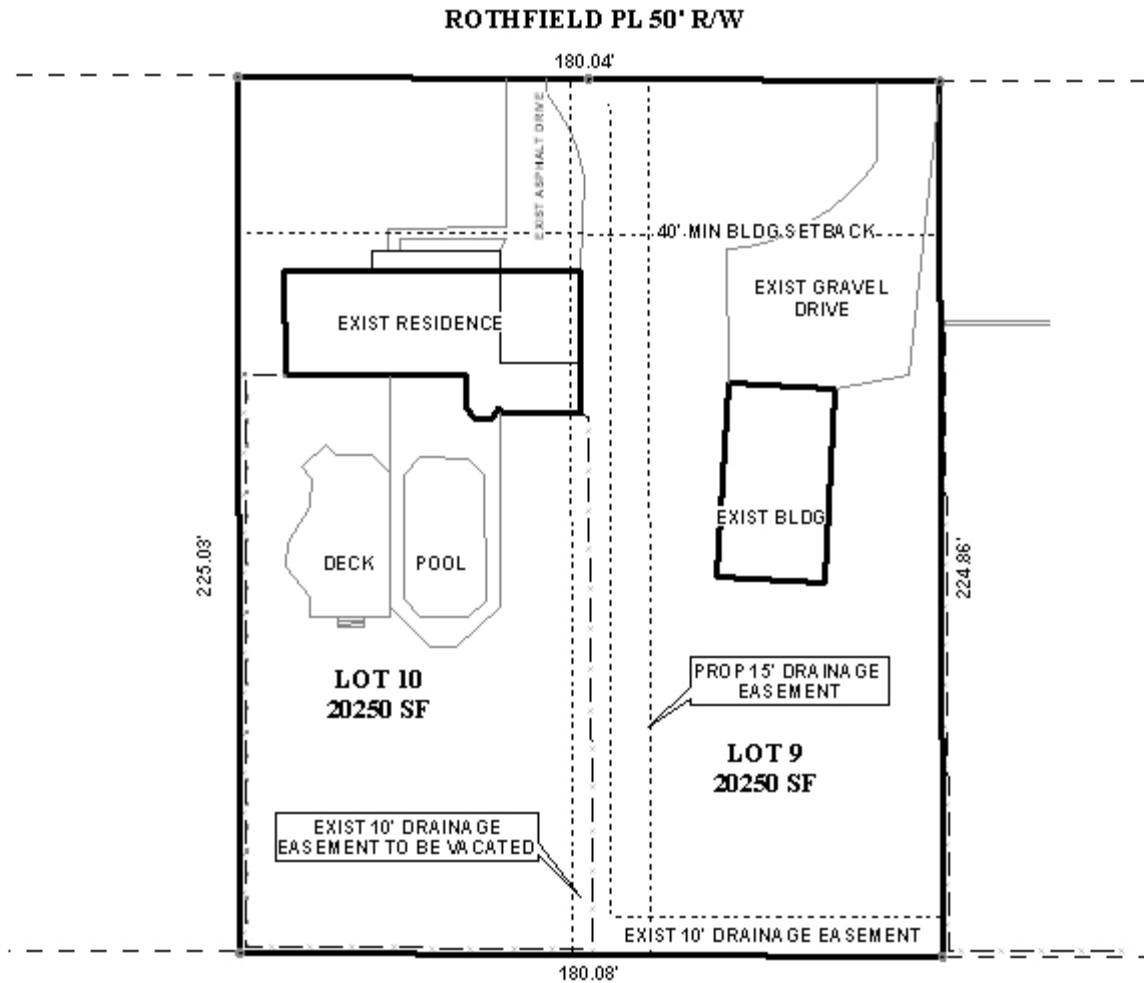
ANDERS PLACE SUBDIVISION



APPLICATION NUMBER 7 DATE December 6, 2012



DETAIL SITE PLAN



APPLICATION NUMBER 7 DATE December 6, 2012
APPLICANT Anders Place Subdivision
REQUEST Subdivision

N
NTS