

## **AHEPA 310-VII SUBDIVISION,** **RESUBDIVISION OF LOT 1**

Engineering Comments: The following comments should be addressed prior to acceptance and signature by the City Engineer:

- A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition.
- B. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- C. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- D. Remove the County Engineer's signature block from the Plat. The County Engineer no longer signs plats within the municipal limits of the City of Mobile.

Traffic Engineering Comments: Lots A and B are limited to one shared curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 3.4± acre, 2-lot subdivision which is located on the North side of Cottage Hill Road, 675'± West of Hillcrest Road, and is in Council District 6. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create two legal lots of record from a single legal lot of record. The site was part of the AHEPA 310-VII Subdivision approved at the Planning Commission's August 7, 1997 meeting.

The lot sizes are labeled in square feet and acres, and exceed the minimum size requirements of Section V.D.2. of the Subdivision Regulations. The lot sizes should be retained in square feet and acres on the Final Plat, if approved.

The site fronts Cottage Hill Road, a major street, which should have a right-of-way of 100' to be in compliance with the Major Street Plan. The preliminary plat states that the right-of-way varies. The 1997 application required the dedication sufficient to provide a 40-foot service road, however, it appears that the dedication was never undertaken. Since 1997, the Major Street Plan has been amended to no longer require service roads; however, dedication to provide 50' from the centerline may be necessary.

The previously approved Subdivision limited the subject lot to two (2) curb cuts with the size, location and design of all curb cuts is to be approved by Traffic Engineering and conform to AASHTO standards. The preliminary plat illustrates a 55' wide non-exclusive easement for ingress and egress, indicating that the lots intend to share a single curb cut. If this is the case, it should be noted that a Planned Unit Development will be required to allow shared access between two building sites.

The preliminary plat illustrates the 25' minimum building setback line required in Section V.D.9. If approved, the minimum building setback line should be retained on the Final Plat as well, and reflect any required dedication.

The preliminary plat indicates a 10' telephone and non-exclusive slope easement along the front property line. A note should be placed on the Final Plat, if approved, stating that no structures shall be constructed in any easement.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

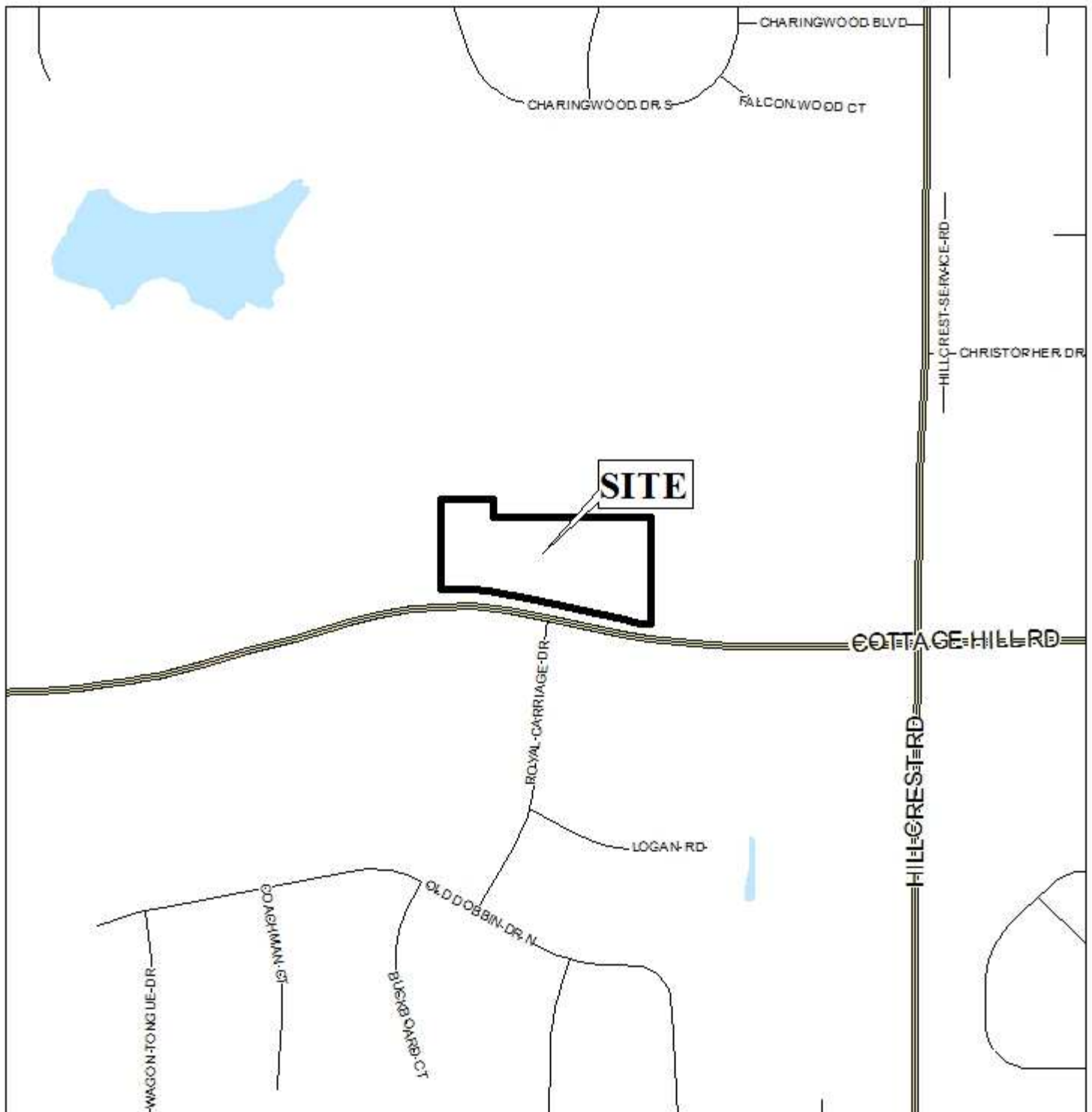
Based upon the preceding, the application is recommended for Tentative Approval, subject to the following:

- 1) dedication to provide 50' from the centerline of Cottage Hill Road, if necessary;
- 2) retention of the 25' minimum building setback line, adjusted for any required dedication;
- 3) retention of the lot size in square feet and acres;
- 4) placement of a note stating the development is limited to one shared curb-cut with the size, location and design of all curb cuts is to be approved by Traffic Engineering and conform to AASHTO standards subject to an approved Planned Unit Development;
- 5) placement of a note that no structures shall be constructed in any easement;
- 6) compliance with Engineering comments (*The following comments should be addressed prior to acceptance and signature by the City Engineer: A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. B. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. C. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. D.*

*Remove the County Engineer's signature block from the Plat. The County Engineer no longer signs plats within the municipal limits of the City of Mobile.);*

- 7) *compliance with Fire Department comments (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 8) *compliance with Traffic Engineering comments (Lots A and B are limited to one shared curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 9) *compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).;*
- 10) *submission of an application for a Planned Unit Development prior to any request for site development permits; and*
- 11) *placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.*

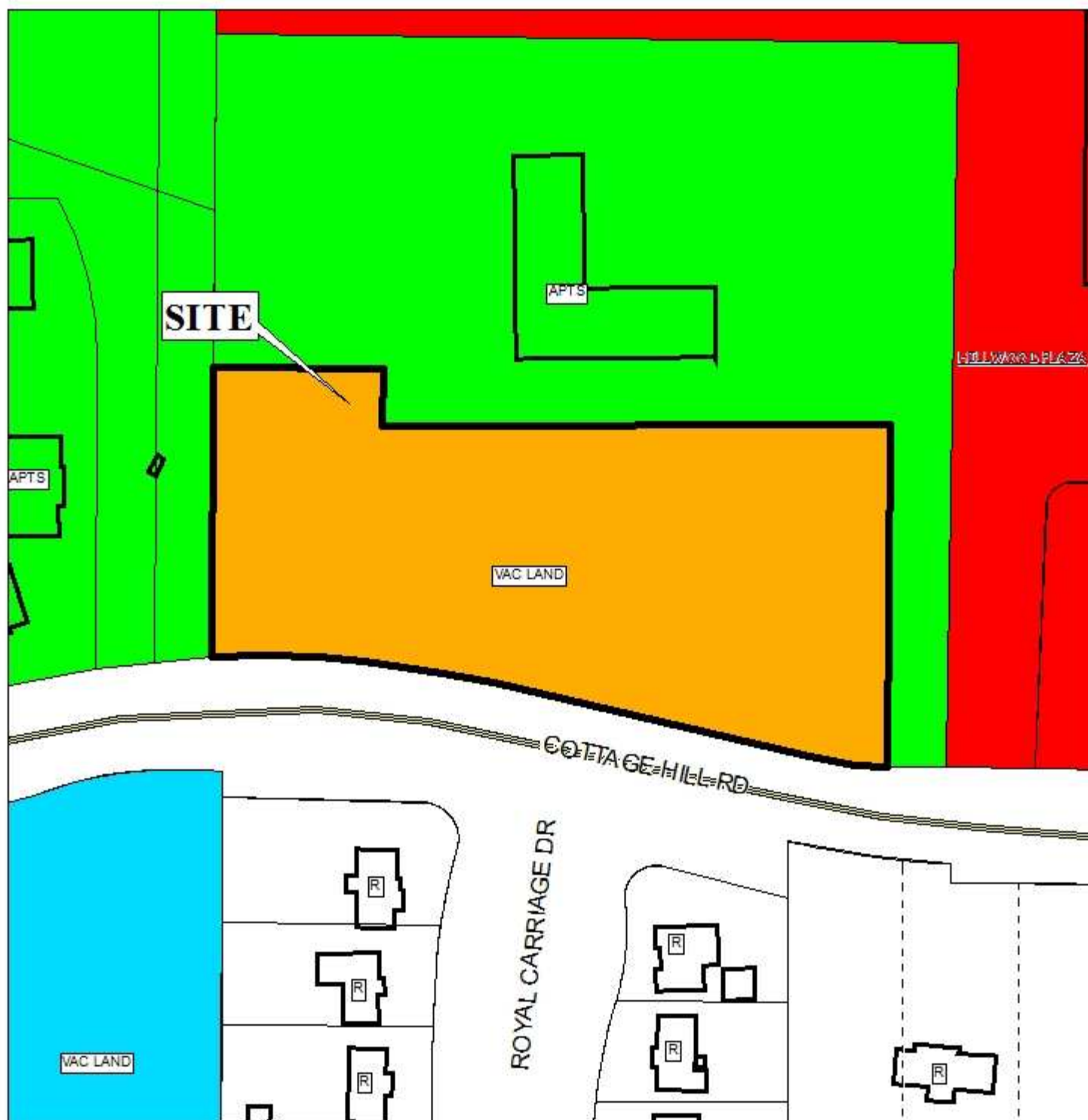
# LOCATOR MAP



APPLICATION NUMBER 7 DATE May 1, 2014  
APPLICANT Ahepa 310-V11 Subdivision, Resubdivision Of Lot 1  
REQUEST Subdivision



# AHEPA 310-V11 SUBDIVISION, RESUBDIVISION OF LOT 1



APPLICATION NUMBER 7 DATE May 1, 2014

LEGEND

|     |     |     |     |     |     |     |     |      |     |     |     |     |     |     |
|-----|-----|-----|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|-----|-----|
| R-1 | R-2 | R-3 | R-A | R-B | H-B | T-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |
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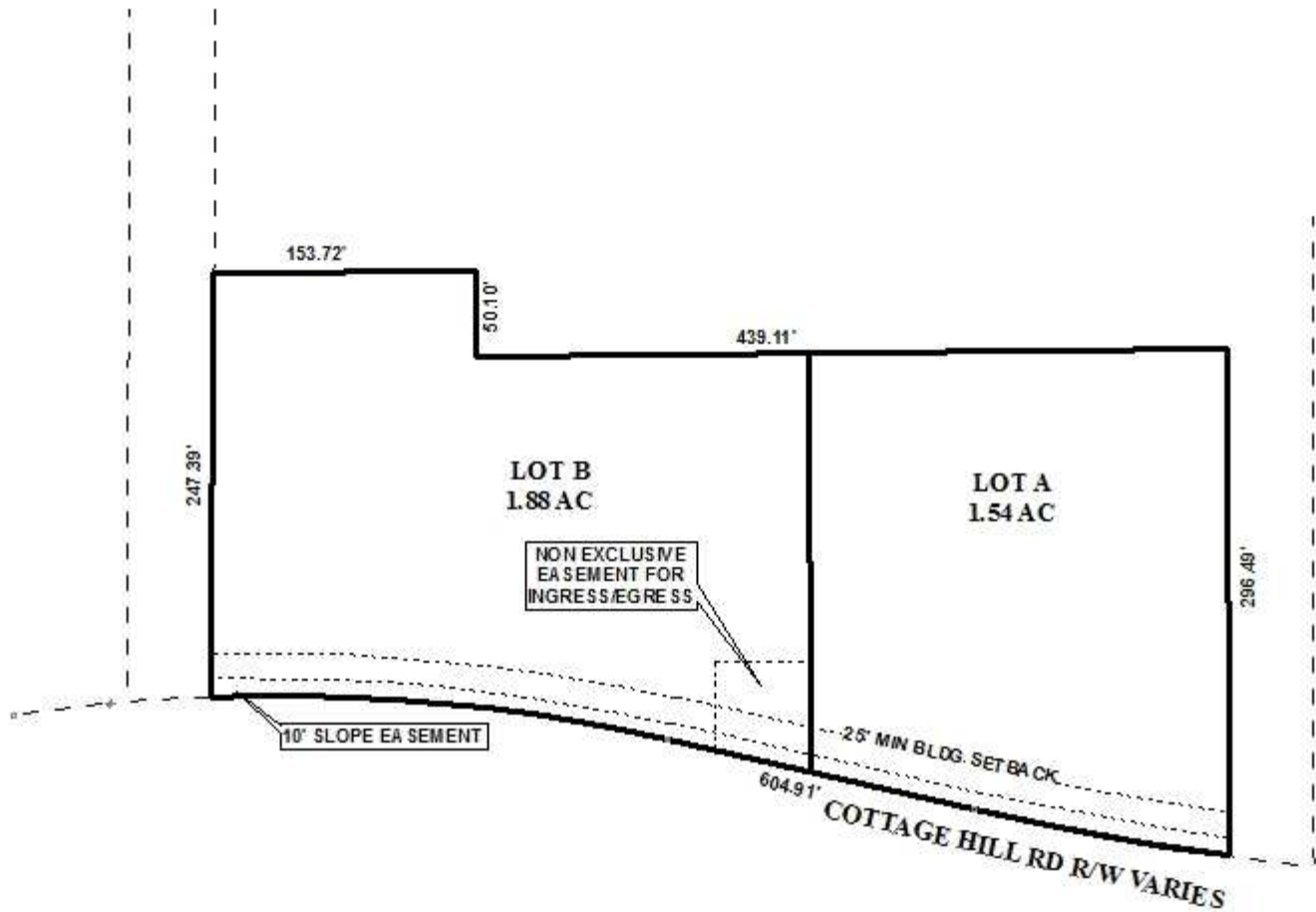
# AHEPA 310-V11 SUBDIVISION, RESUBDIVISION OF LOT 1



APPLICATION NUMBER 7 DATE May 1, 2014



# DETAIL SITE PLAN



APPLICATION NUMBER 7 DATE May 1, 2014  
APPLICANT Ahepa 310-V11 Subdivision, Resubdivision Of Lot 1  
REQUEST Subdivision

