

## **ADDY'S ALLEY SUBDIVISION**

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- B. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- C. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- D. Correct the written legal description for the proposed subdivision – revise “Broad St.” to “Canal St.” in two (2) different places, correct the distance label for the east property line, and label the POC and POB for the survey.
- E. Add a signature block for the Traffic Engineer.
- F. Provide the Surveyor’s, Owner’s (notarized), Planning Commission, and Traffic Engineering signatures.
- G. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering Comments: The lot is limited to one curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

MAWSS Comments: No comments received.

The preliminary plat illustrates the proposed 1-lot, 0.2± acre subdivision which is located on the North side of Canal Street, 60’± East of South Broad Street, and is in Council District 2. The applicant states that the subdivision is served by city water and sanitary sewer.

The purpose of this application is to create 1 legal lot of record from two parcels within the Downtown Development District (DDD). As the site is within a T-3 Sub-District, this transect sub-district has no minimum lot size requirement and requires a front yard setback of 10’-18’. Therefore, it would seem appropriate to waive Sections V.D.2. and V.D.9. of the Subdivision Regulations regarding lot size and minimum building setback requirements as the lot is only 6,780± sf. In lieu of the minimum lot size requirement, subdivided properties IN A t-3 Sub-

District are limited to a minimum width of 40' and maximum width of 120' along a designated primary frontage. As proposed, the lot would have a right-of-way frontage width of 118'± along Canal Street Service Road, compliant with Section 64-3.I.8.(b). of the Zoning Ordinance; however, all setbacks should be illustrated on the Final Plat, if approved.

The site has frontage along Canal Street/Canal Street Service Road, a major street, as defined by the Major Street Plan component of the Comprehensive Plan. The street is also considered a C Street within the Regulating Plan Street Hierarchy of the DDD. As the existing right-of-way width is compliant, no dedication will be required; however, the Final Plat should be revised to illustrate the minimum right-of-way width adjacent to the site, if approved.

The site has one and one half curb-cut: the half curb-cut provides access to an adjacent residence. Thus this site should be limited to the existing number of curb-cuts, with any changes to the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards. It should be noted that the curb-cut number and width are specifically addressed in the DDD regulations.

It should be pointed out that the site is located within the Church Street East Historic District. Any proposed site improvements should be submitted to the Architectural Review Board for review prior to the issuance of building permits, in addition to compliance with Section 64-3.I. of the Zoning Ordinance.

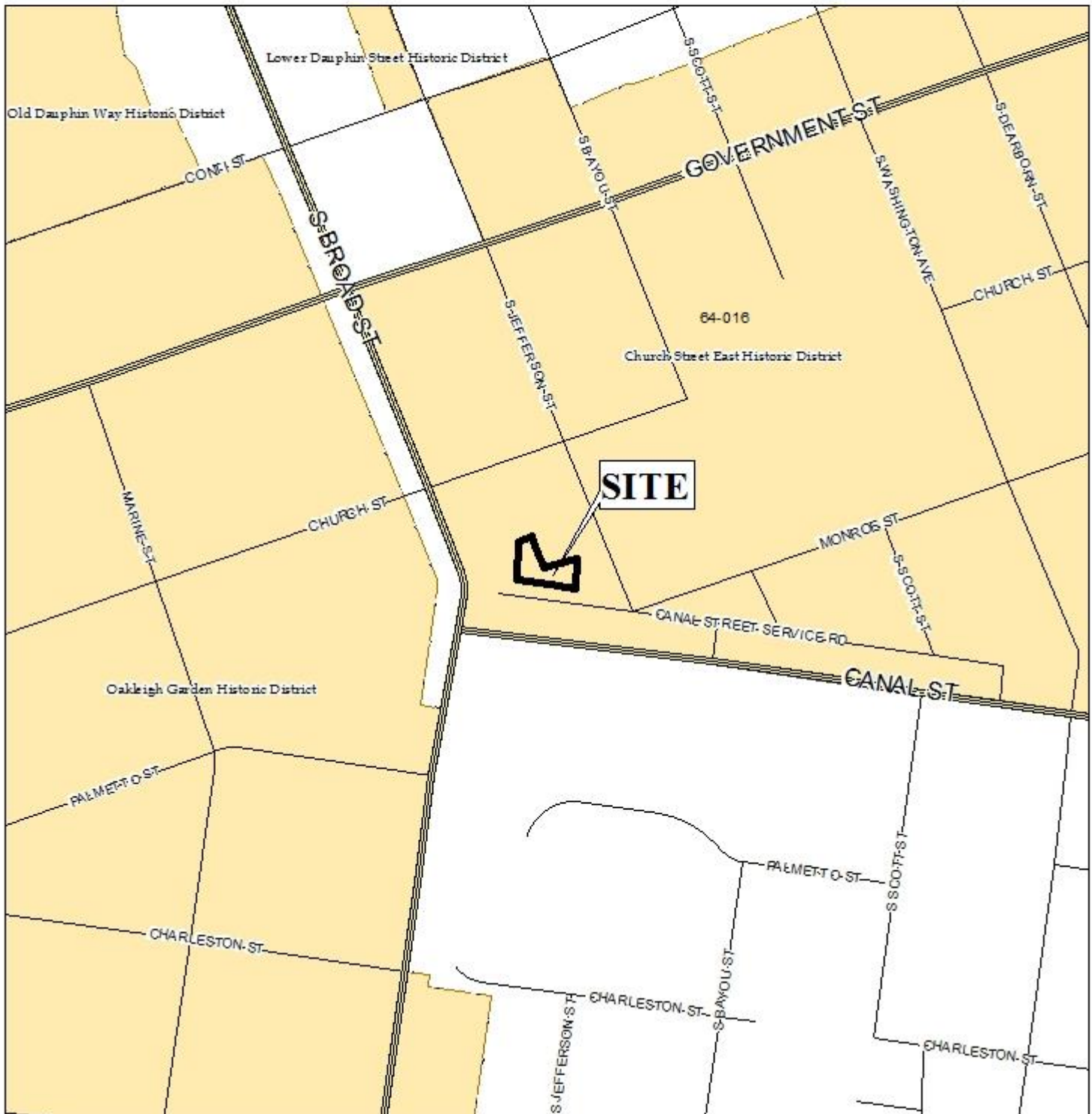
With waivers of Sections V.D.2. and V.D.9. of the Subdivision Regulations, the application is recommended for tentative approval, subject to the following conditions:

- 1) Illustration of all setbacks on the Final Plat, in compliance with Section 64-3.I. of the Zoning Ordinance;
- 2) Depiction of the minimum right-of-way width of Canal Street/Canal Street Service Road, adjacent to the site, on the Final Plat;
- 3) Placement of a note on the Final Plat stating that the lot is limited to the existing number of curb-cuts, with any changes to the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards and comply with Section 64-3.I. of the Zoning Ordinance;
- 4) Compliance with Engineering Comments: *(The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. B. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. C. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. D. Correct the written legal description for the proposed subdivision – revise “Broad St.” to “Canal St.” in two (2) different places, correct the distance label for the east property line, and label the POC and POB for the survey. E. Add a signature block for the Traffic Engineer.*

*F. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. G. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);*

- 5) *Compliance with Traffic Engineering Comments: (The lot is limited to one curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 6) *Compliance with Urban Forestry Comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).); and*
- 7) *Compliance with Fire Department Comments: (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.).*

# LOCATOR MAP



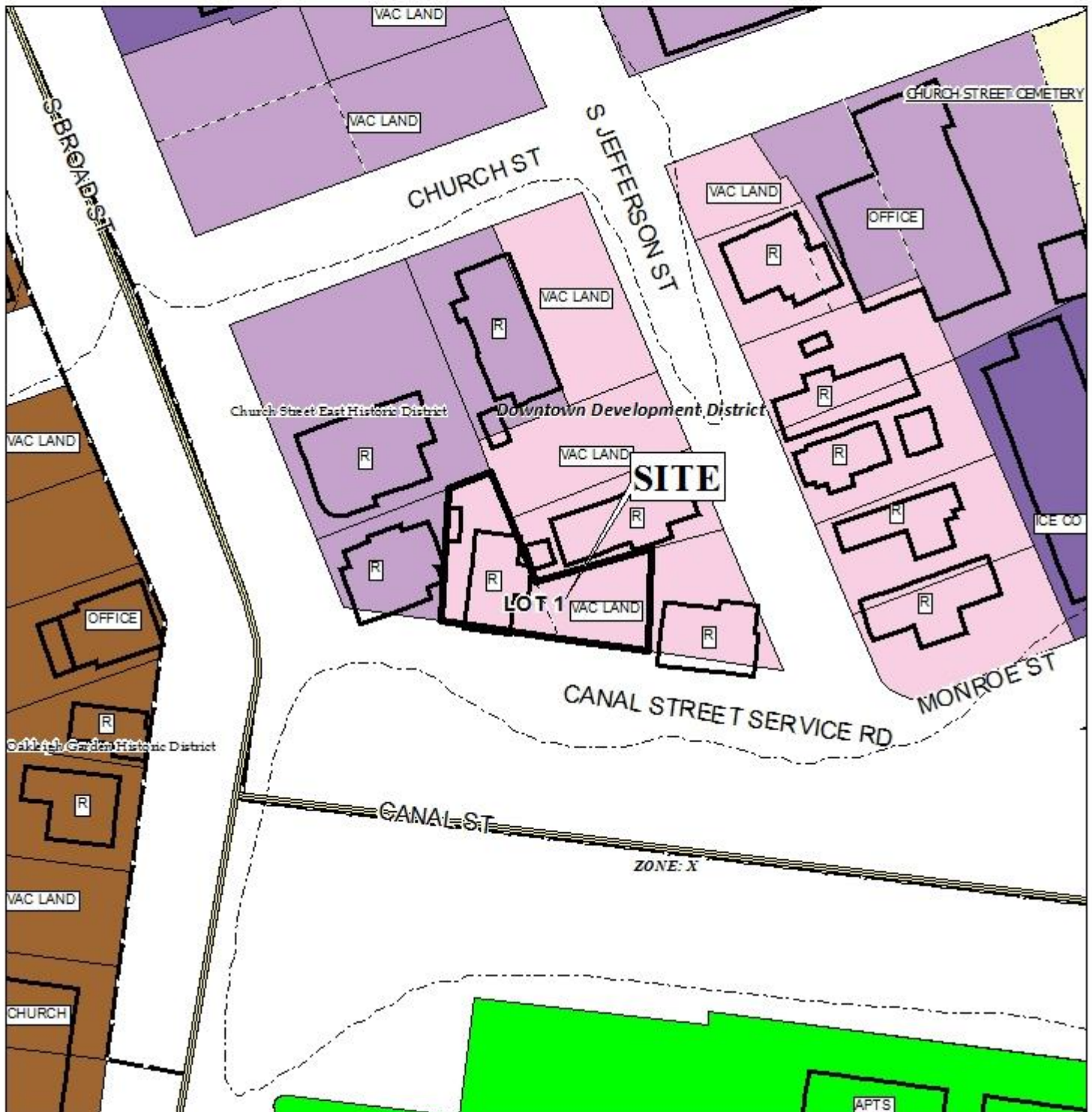
APPLICATION NUMBER 7 DATE March 5, 2015

APPLICANT Addy's Alley Subdivision

REQUEST Subdivision



# ADDY'S ALLEY SUBDIVISION



APPLICATION NUMBER 7 DATE March 5, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





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