

**SUBDIVISION &
PLANNED UNIT DEVELOPMENT
STAFF REPORT**

Date: March 3, 2022

<u>DEVELOPMENT NAME</u>	CRN Development, LLC (Thomas N. Ward, Agent)
<u>SUBDIVISION NAME</u>	Wal-Mart Store # 866 Subdivision, Resubdivision of
<u>LOCATION</u>	5327 Halls Mill Road (East side of Halls Mill Road, 234'± South of Rangeline Road).
<u>CITY COUNCIL DISTRICT</u>	District 4
<u>AREA OF PROPERTY</u>	2 Lots / 1.8± Acres
<u>CONTEMPLATED USE</u>	Subdivision approval to create two (2) legal lots of record from one (1) existing legal lot of record, and Planned Unit Development approval to allow shared access between multiple building sites, and to allow a unique sign package.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediately following approval.
<u>ENGINEERING COMMENTS</u>	

Subdivision: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Revise the name of the PROPOSED SUBDIVISION in the title block from "RESUBDIVISION OF WAL-MART..." to "RESUBDIVISION OF LOT 3 WAL-MART..."
- C. Label the POC and POB of the Non-Exclusive Access & Utility Easement.
- D. Show and label the Non-Exclusive Access & Utility Easement.
- E. Provide and label the monument set or found at each subdivision corner including the proposed interior lot line.
- F. Add the name of the recorded subdivision name beneath the existing lot labels.
- G. Provide additional information for the Deed reference "REAL PROPOERTY BOOK 5481, PAGE 740" on the south side of proposed LOT 1.

- H. Revise NOTES #16 to read “As shown on the 1984 aerial photo (FLIGHT 21 - #89) LOTS 1 and 2 will receive historical credit of existing (1984) impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control) as follows: LOT 1 & 2 (total combined) – 3,600 sf. If the LOTS are already covered by an existing detention pond the Applicant will need to submit documentation with the proposed drainage calculations.
- I. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at land.disturbance@cityofmobile.org prior to obtaining any signatures. No signatures are required on the drawing.
- J. After addressing all of the FINAL SUBDIVISION PLAT review comments provide the ORIGINAL (with all signatures except for the Planning Commission, Traffic Engineering, and City Engineer), one (1) copy, and a transmittal letter to the Engineering Permitting Department. They can be dropped off at 205 Government St. or mailed to PO Box 1827, Mobile, AL, 36633.

Planned Unit Development:

1. Submit a drawing labeled PUD SITE PLAN. The Plan submitted appears to be a drawing for the signage package and is labeled SIGN LOCATION PLAN.
2. Label all proposed site items on the PUD SITE PLAN.
3. Provide a vicinity map and graphic scale on the PUD SITE PLAN.
4. ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:
 - a. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Permitting Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
 - b. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
 - c. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules for Erosion and Sedimentation Control and Storm Water Runoff Control.
 - d. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.
 - e. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the

issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.

- f. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.

REMARKS

The applicant is requesting Subdivision approval to create two (2) legal lots of record from one (1) existing legal lot of record; and Planned Unit Development approval to allow shared access between multiple building sites, and to allow a unique sign package.

The site has been given a District Center (DC) land use designation, per the Future Land Use Plan and Map adopted by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This designation applies across the city to larger areas of existing mixed-use character or where such character is encouraged. These areas will include moderate to high-density residential (minimum densities of 6 du/ac) in dynamic, horizontal or vertical mixed use environments, to provide a balance of housing and employment.

District Centers generally serve several surrounding neighborhoods and may even have a city-wide or region-wide reach. As such, they are often anchored by a major commercial or institutional employer such as a shopping mall or a medical center.

Depending on location and assigned zoning, residential areas in District Centers may incorporate a mix of housing types, ranging from midrise multifamily buildings containing apartments and lofts, to townhouses and detached single-family homes. Major civic cultural institutions and public spaces provide regional and neighborhood destinations.

District Centers should be designed to induce pedestrian activity, with high quality streetscapes connecting the different components of a center as well as the center to its surrounding area. DC districts may be served by transit and include development of an intensity and design that supports transit use.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The subject site consists of Lot 3, Wal-Mart Store # 866 Subdivision, a five-lot subdivision approved by the Commission in November, 1996 prior to annexation into the City of Mobile. The site is currently vacant, but previously contained a restaurant which closed and the building was demolished.

The site has frontage along Halls Mill Road, a collector street requiring a 70-foot right-of-way. The approval of Wal-Mart Store # 866 Subdivision required a ten-foot dedication of right-of-way along Halls Mill Road which provided a width varying from 34.3 feet to 34.6 feet from the centerline. Although this dedication resulted in slightly less than the required 35 feet from centerline, as the approval only required a ten-foot dedication, no further dedication should be required in this case. As on the preliminary plat, the right-of-way width of Halls Mill Road should be retained on the Final Plat, if approved.

As on the preliminary plat, the 25-foot minimum building setback line along Halls Mill Road should be retained on the Final Plat. The proposed lot sizes are labeled in square feet and acres on the preliminary plat, and exceed the minimum size requirements of the Subdivision Regulations. This information should be retained on the Final Plat.

In addition to the frontage along Halls Mill Road, the site also shares a non-exclusive access and utility easement with the adjoining properties. Lot 3, Wal-Mart Store #866 Subdivision was originally limited to one curb cut to Halls Mill Road. As the lot is proposed to be subdivided into

two lots, and as the accompanying Planned Unit Development (PUD) site plan indicates that both lots would share a common internal drive extending from Halls Mill Road to the access and utility easement, the subdivision should still be limited to one shared curb cut to Halls Mill Road, and one shared curb cut to the access and utility easement, with the size, location and design to be approved by Traffic Engineering. As per the Traffic Engineering comments, the driveway number, size, location, and design are to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. A note stating these comments should be placed on the Final Plat, if approved.

PUD review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and, that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and, to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

In pursuit of these purposes, the objectives to be met by a PUD are as follows: a) to encourage innovative and diversified design in building form and site development; b) flexibility, to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations; c) to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for re-development; d) to preserve and protect as urban amenities the natural features and characteristics of land; e) to encourage the provision of common open space through efficient site design; and, f) to encourage optimum use of available public utilities, streets and community facilities.

It is very important to note that the PUD review is site plan specific; therefore *any* future changes to the overall site plan must be submitted for PUD review. Furthermore, PUD approvals expire after one year if no permits are obtained.

The applicant states:

DESCRIPTION

WE ARE REQUESTING TO SUBDIVIDE THE SUBJECT PROPERTY INTO TWO PARCELS (PARCEL 1 AND PARCEL 2). A NEW CAR WASH WILL BE CONSTRUCTED ON PARCEL 2. PARCEL 1 WILL REMAIN VACANT UNTIL A TENANT IS IN PLACE. THE LOT IS ZONED B-3. WE ARE REQUESTING TO FORM A PUD FOR THIS LOT DUE TO THE SHARED ACCESS DRIVE. WE WILL BEGIN CONSTRUCTION IMMEDIATELY UPON RECEIVING APPROVAL AND ALL NECESSARY PERMITS.

PLAN CONSISTENCY

The Future Land Use Map depicts this area as District center. This development meets the intent of the Future Land Use Map for this area by providing employment and providing additional pedestrian amenities. The project will be anchored to a major commercial employer.

Curb Cuts

One Curb Cut on Halls Mill Rd. and one curb cut on the shared access drive.

The PUD site plan labels the two proposed lots as “Parcel 1” and “Parcel 2”. The lots should be re-labeled on a revised site plan as “Lot 1” and “Lot 2” to match the subdivision plat. The lots should be labeled with their sizes in both square feet and acres, or a table should be furnished on the site plan providing the same information.

The site is zoned B-3, Community Business District, thus the proposed use on Lot 2 as a car wash is allowed by right. Furthermore, this district allows up to 50% building site coverage and a 25-foot front yard setback and zero-foot side and rear yard setbacks (when abutting other commercial zoning districts). The car wash building is indicated to have a 5-foot setback off the adjacent commercial property, which is allowed by the Zoning Ordinance. No use is proposed on Lot 2 at present, although a proposed 40-foot by 80-foot building is indicated on that lot. It should be noted that a revised PUD will be required for the site when development on Lot 1 is proposed.

The site plan indicates the proposed car wash building, entrance and exit lanes, three pay stations and 22 service parking spaces. Four employee parking spaces are also indicated. A dumpster with enclosure is indicated; however, dumpster truck maneuvering area for backing does not appear adequate. The site plan should be revised to provide sufficient maneuvering area for dumpster truck maneuvering into and out of the dumpster enclosure without interfering with traffic flow within the site. As previously mentioned access to both lots is proposed to be via a common drive extending from Halls Mill Road to the existing access and utility easement serving the adjoining properties, with one curb cut to the common drive into Lot 2. No access onto Lot 1 is indicated as no development is yet proposed for that lot.

A required public sidewalk is indicated along Halls Mill Road. The site plan does not indicate any landscaping or tree planting compliance. At the time of development, each lot will be required to be brought into full compliance with Zoning Ordinance regulations, including tree plantings and landscape area, parking lot lighting, etc.

As revisions are needed on the PUD site plan, two copies of a revised site plan (hard copy and pdf) should be submitted to and approved by Planning and Zoning prior to signing the Final Plat for the Subdivision.

The applicant has also submitted a unique signage package for the proposed car wash site consisting of one freestanding pylon sign, one monument sign, four wall signs with logos, and four blank, unspecified wall signs. As the site would be a single-tenant site, the Zoning Ordinance would allow a total of three signs containing branding, either three wall signs, or one freestanding sign and two wall signs. In instances where unique signage packages have been requested within PUD's and have been approved by the Commission, the applicant has presented reasoning for the justification of such packages, such as expansive parking lots, unique building massing, or innovative shopping center design. However, in this instance, the applicant did not provide any reasoning to justify the increased signage request due to any hardship related to visibility or innovative design. As such, staff has no basis on which to evaluate the sign request, and compliance with the sign regulations should be required.

RECOMMENDATION

Subdivision: Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) retention of the right-of-way width of Halls Mill Road on the Final Plat;
- 2) retention of the 25-foot minimum building setback line on the Final Plat;
- 3) retention of the lot size labels in both square feet and acres on the Final Plat, or the furnishing of a table on the Final Plat providing the same information;
- 4) placement of a note on the Final Plat stating that the subdivision is limited to one shared curb cut to Halls Mill Road and one shared curb cut to the existing access and utility easement, with the size, location and design to be approved by Traffic Engineering;
- 5) compliance with Engineering comments: (*FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):*
 - A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
 - B. Revise the name of the PROPOSED SUBDIVISION in the title block from "RESUBDIVISION OF WAL-MART..." to "RESUBDIVISION OF LOT 3 WAL-MART..."
 - C. Label the POC and POB of the Non-Exclusive Access & Utility Easement.
 - D. Show and label the Non-Exclusive Access & Utility Easement.
 - E. Provide and label the monument set or found at each subdivision corner including the proposed interior lot line.
 - F. Add the name of the recorded subdivision name beneath the existing lot labels.
 - G. Provide additional information for the Deed reference "REAL PROPOERTY BOOK 5481, PAGE 740" on the south side of proposed LOT 1.
 - H. Revise NOTES #16 to read "As shown on the 1984 aerial photo (FLIGHT 21 - #89) LOTS 1 and 2 will receive historical credit of existing (1984) impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control) as follows: LOT 1 & 2 (total combined) – 3,600 sf. If the LOTS are already covered by an existing detention pond the Applicant will need to submit documentation with the proposed drainage calculations.
 - I. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at land.disturbance@cityofmobile.org prior to obtaining any signatures. No signatures are required on the drawing.
 - J. After addressing all of the FINAL SUBDIVISION PLAT review comments provide the ORIGINAL (with all signatures except for the Planning Commission, Traffic Engineering, and City Engineer), one (1) copy, and a transmittal letter to the Engineering Permitting Department. They can be dropped off at 205 Government St. or mailed to PO Box 1827, Mobile, AL, 36633.);
- 6) placement of a note on the Final Plat stating the Traffic Engineering comments (*Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.*);
- 7) compliance with Urban Forestry comments: (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts*

1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.);

- 8) compliance with Fire comments: (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.);
- 9) submission of a revised PUD site plan (hard copy and .pdf) to Planning & Zoning prior to signing of the Final Plat..

Planned Unit Development: Staff recommends the following Findings of Fact for Approval for the Planned Unit Development site plan:

- a. the proposal promotes the objective of Creative design (to encourage innovative and diversified design in building form and site development), because it will allow for shared access and mobility between multiple building sites utilizing a single shared access;
- b. the proposal promotes the objective of Flexibility (*to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations*), because it will allow for the re-development of a vacant site within an existing commercial area;
- c. the proposal promotes the objective of Efficient land use (to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for redevelopment), because a vacant property within an existing developed area will be put into compliant use;
- d. the proposal promotes the objective of Public services (*to encourage optimum use of available public utilities, streets and community facilities*), because the area is already served by public services.

The approval should be subject to the following conditions:

- 1) revision of the site plan to rename “Parcel 1” and “Parcel 2” as “Lot 1” and “Lot 2” to match the Subdivision plat;
- 2) revision of the site plan to label the lots with their sizes in both square feet and acres, or the furnishing of a table on the site plan providing the same information;
- 3) retention of the 25-foot minimum building setback line on the site plan;
- 4) submittal of an amended Planned Unit Development application at such time that development of Lot 1 is proposed;
- 5) revision of the site plan to provide sufficient maneuvering area for dumpster truck maneuvering into and out of the dumpster enclosure without interfering with traffic flow within the site;
- 6) placement of a note on the site plan stating that the site is limited to one shared curb cut to Halls Mill Road and one shared curb cut to the existing access and utility easement, with the size, location and design to be approved by Traffic Engineering;

- 7) placement of a note on the site plan stating that all lots will be developed in full compliance with Zoning Ordinance requirements;
- 8) compliance with Engineering comments: *(1. Submit a drawing labeled PUD SITE PLAN. The Plan submitted appears to be a drawing for the signage package and is labeled SIGN LOCATION PLAN. 2. Label all proposed site items on the PUD SITE PLAN. 3. Provide a vicinity map and graphic scale on the PUD SITE PLAN. 4. ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: a. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Permitting Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). b. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. c. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules for Erosion and Sedimentation Control and Storm Water Runoff Control. d. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy. e. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. f. The proposed development must comply with all Engineering Department design requirements and Policy Letters.);*
- 9) placement of a note on the site plan stating the Traffic Engineering comments: *(Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 10) compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.);*
- 11) compliance with Fire comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and*

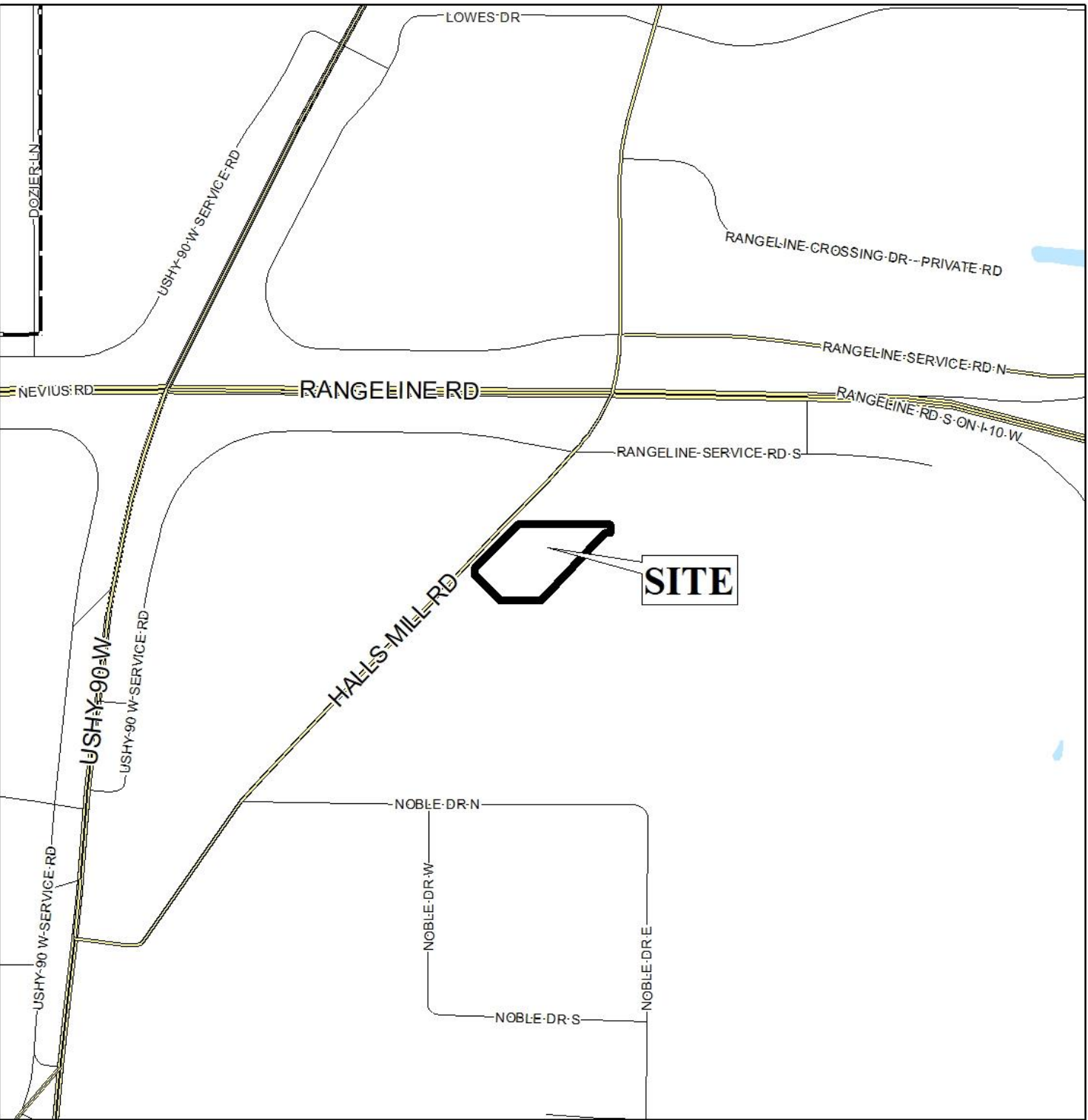
residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.);

- 12) submission of revised PUD site plans (hard copy and .pdf) to Planning & Zoning prior to signing of the Final Plat; and
- 13) full compliance with all municipal codes and ordinances.

Staff recommends the following Findings of Fact for Denial of the Planned Unit Development signage package:

- a. the applicant did not provide any reasoning to justify the increased signage request due to any unique character associated with the development of the site or issues related to visibility or innovative design; and
- b. no basis to evaluate the request was provided.

LOCATOR MAP



APPLICATION NUMBER 7 DATE March 3, 2022

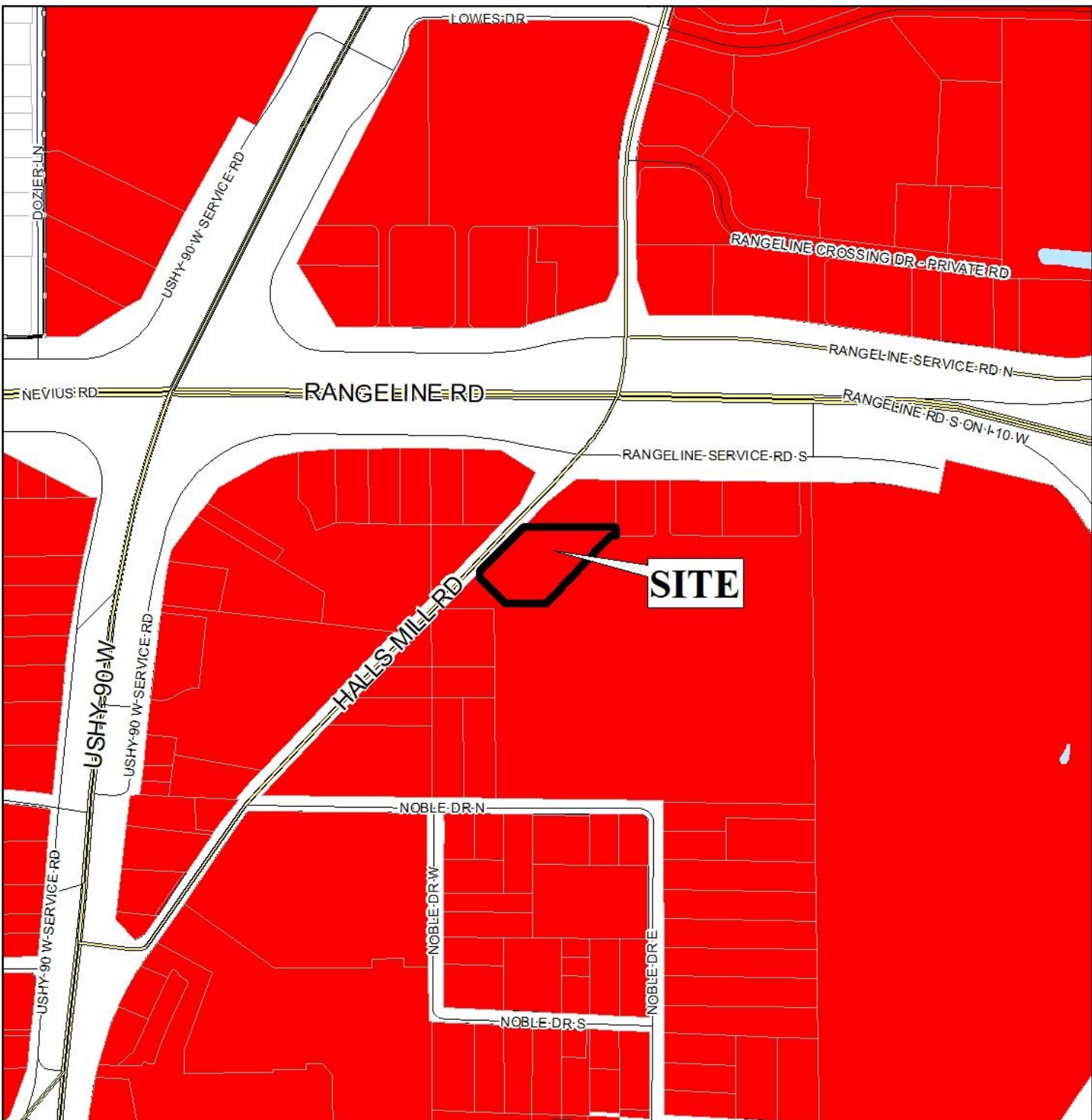
APPLICANT Wal-Mart Store # 866 Subdivision, Resubdivision of

REQUEST Subdivision, Planned Unit Development



NTS

LOCATOR ZONING MAP



APPLICATION NUMBER 7 DATE March 3, 2022

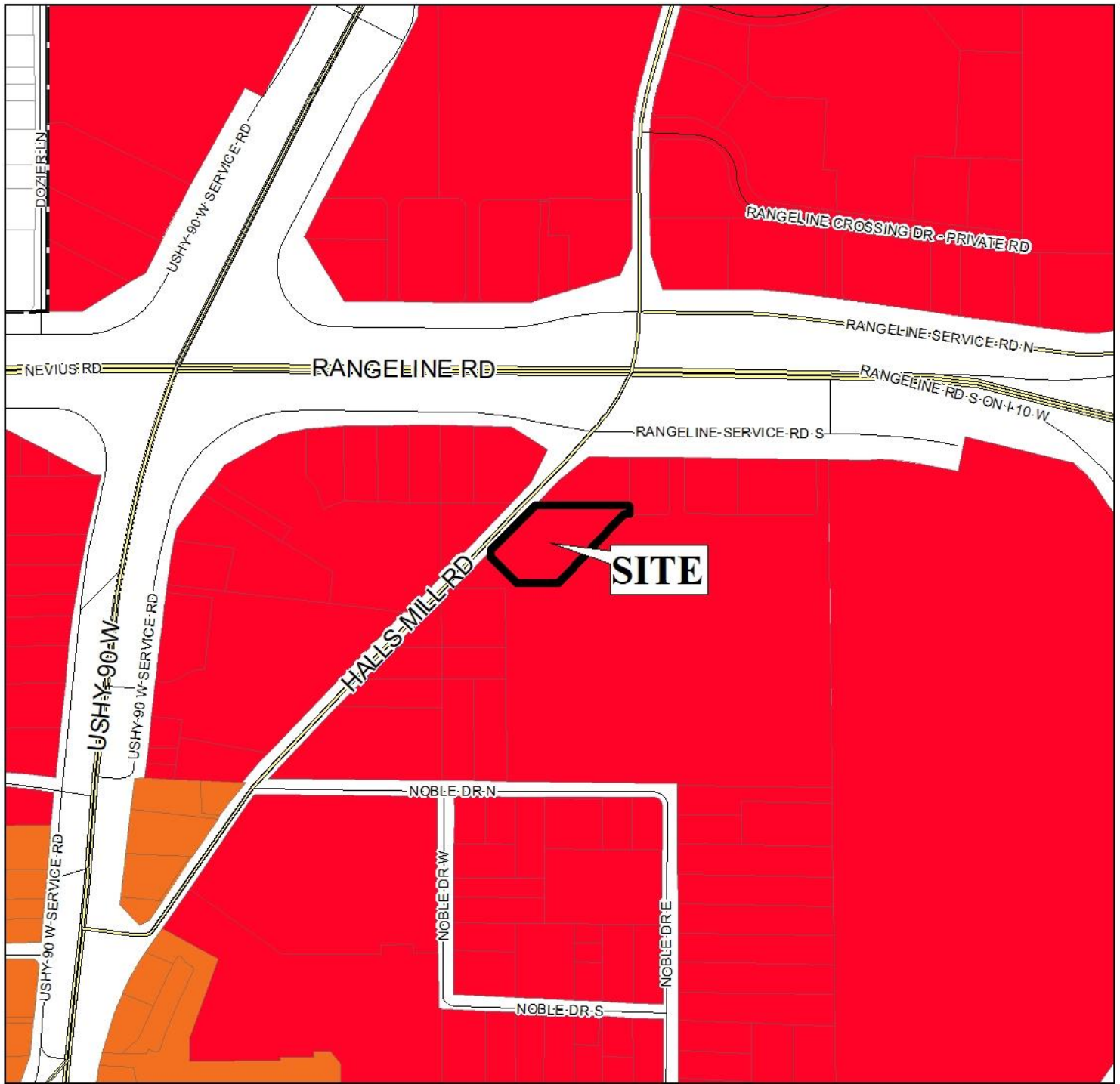
APPLICANT Wal-Mart Store # 866 Subdivision, Resubdivision of

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NTS















FLUM LOCATOR MAP



APPLICATION NUMBER 7 DATE March 3, 2022

APPLICANT Wal-Mart Store # 866 Subdivision, Resubdivision of

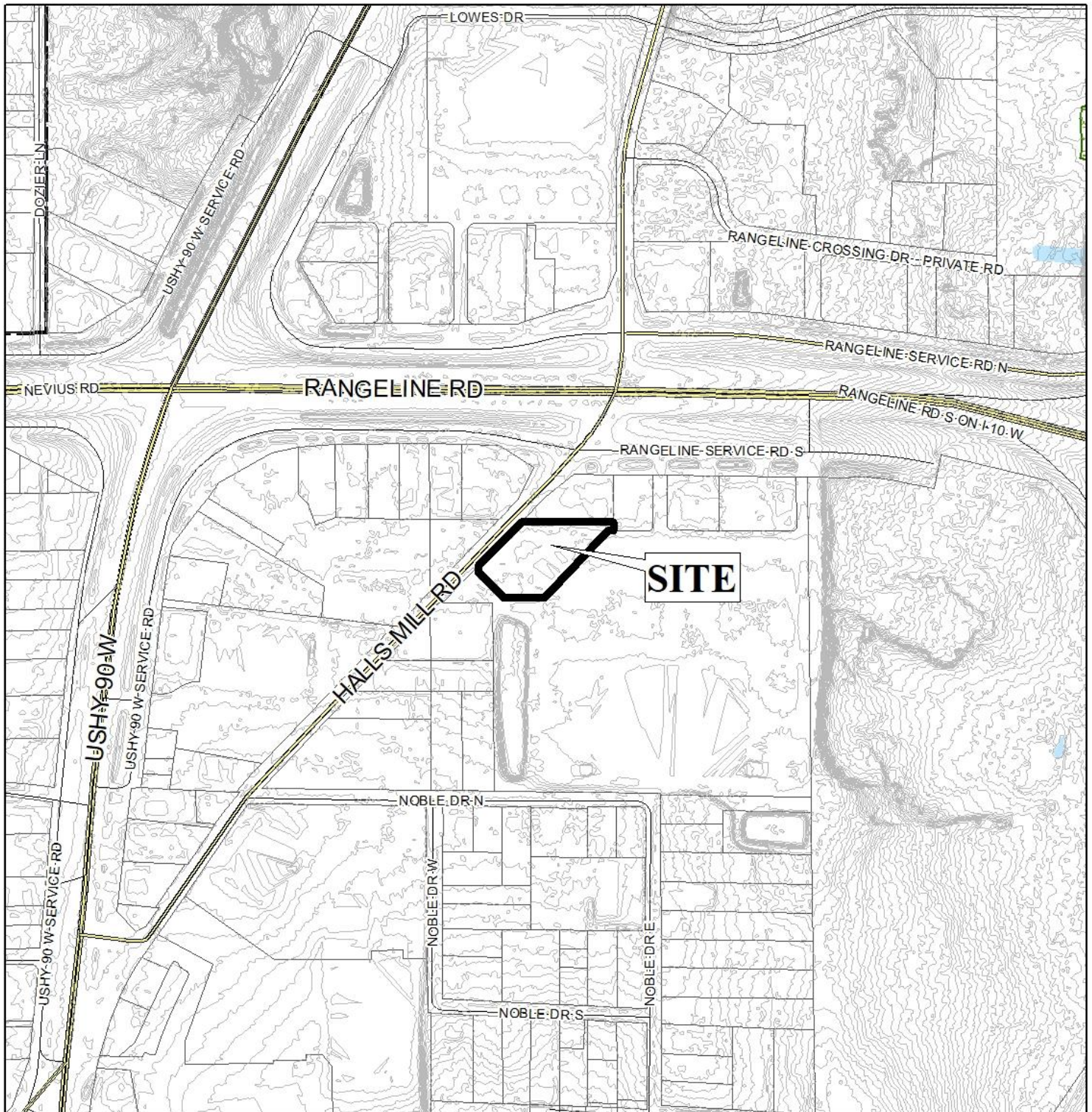
REQUEST Subdivision, Planned Unit Development

- | | | | |
|---|---|---|--|
|  Low Density Residential |  Neighborhood Center - Traditional |  Downtown Waterfront |  Parks & Open Space |
|  Mixed Density Residential |  Neighborhood Center - Suburban |  Light Industry |  Water Dependent |
|  Downtown |  Traditional Corridor |  Heavy Industry | |
|  District Center |  Mixed Commercial Corridor |  Institutional | |



NTS

ENVIRONMENTAL LOCATOR MAP



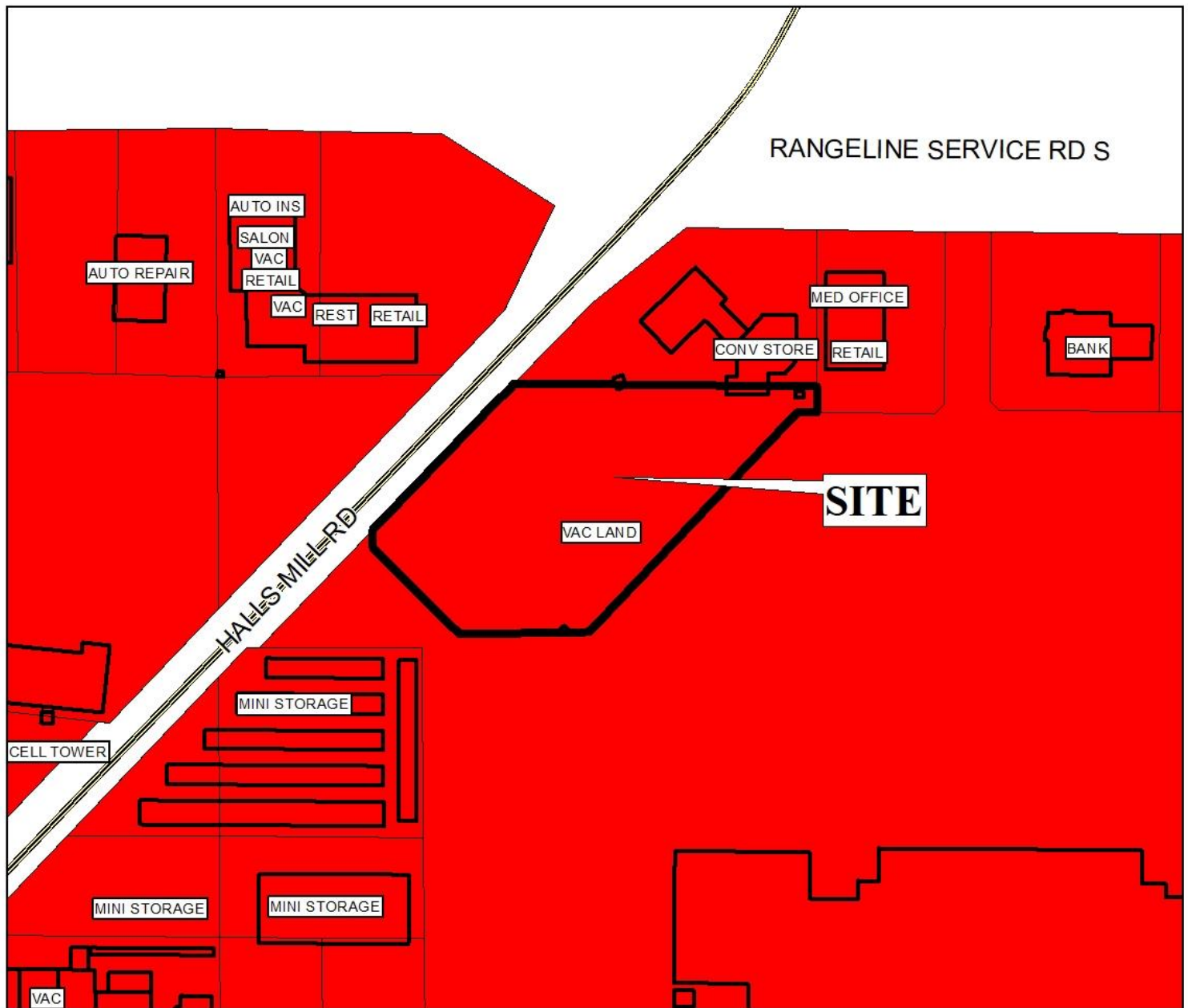
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APPLICANT Wal-Mart Store # 866 Subdivision, Resubdivision of

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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units.

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REQUEST Subdivision, Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

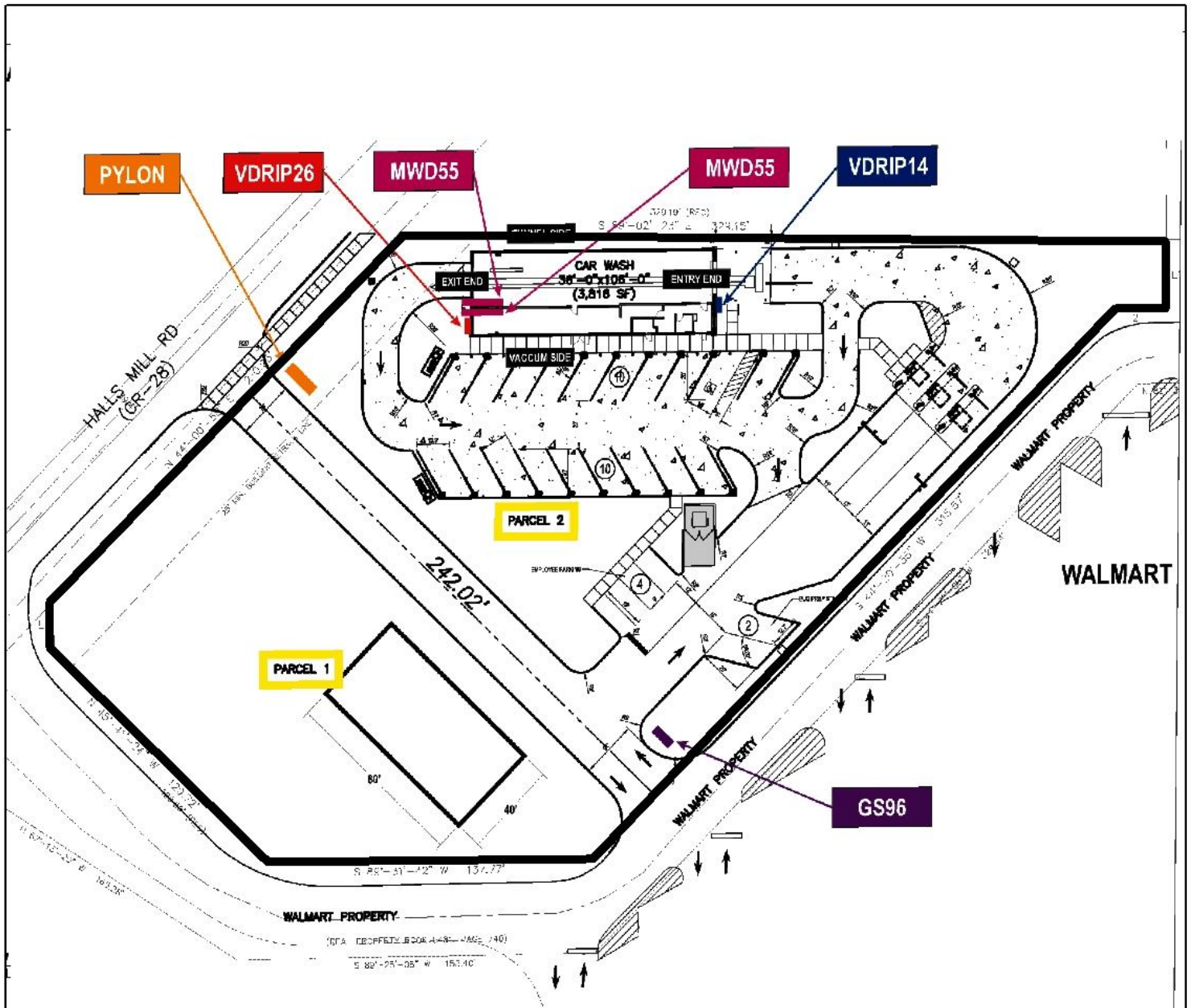


The site is surrounded by commercial units.

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SITE PLAN

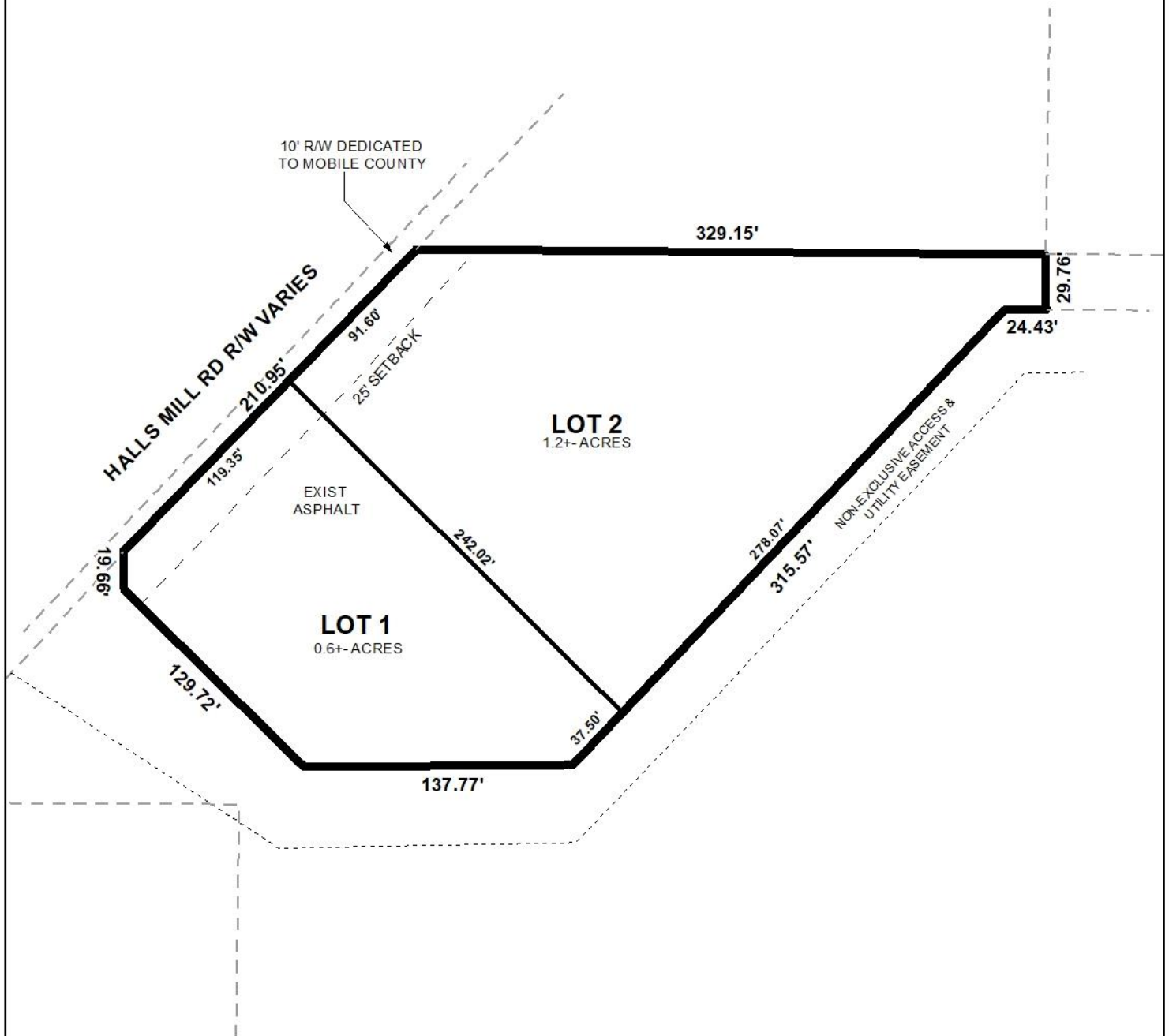


The site plan illustrates the proposed work, setback, and sign locations.

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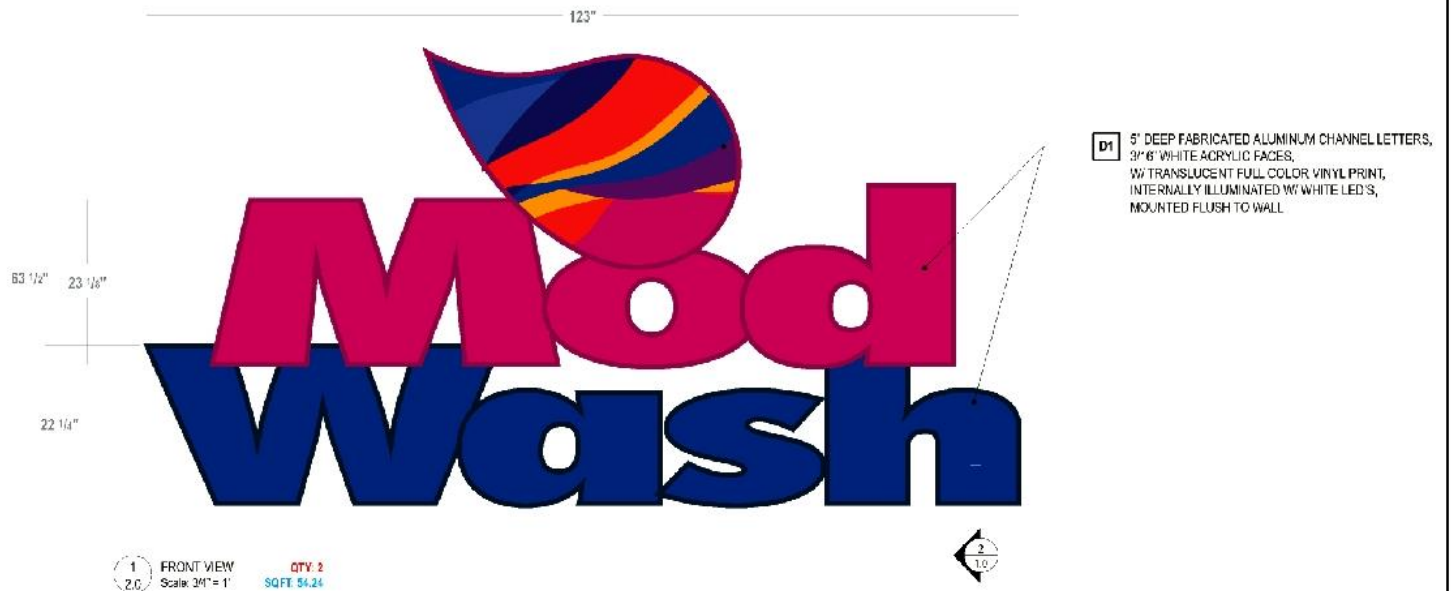
DETAIL SITE PLAN



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DETAIL SITE PLAN



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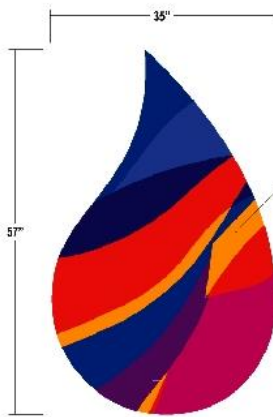
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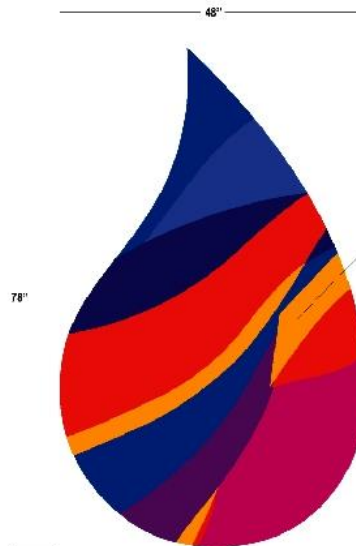
DETAIL SITE PLAN

VDRIP14 ■ & VDRIP26 ■ - VERTICAL DRIP



D1 5" DEEP FABRICATED ALUMINUM CHANNEL LETTERS,
3/16" WHITE ACRYLIC FACES,
W/ TRANSLUCENT FULL COLOR VINYL PRINT,
INTERNALLY ILLUMINATED W/ WHITE LED'S,
MOUNTED FLUSH TO WALL

1 FRONT VIEW - VDRIP14 QTY: 1
Scale: 3/4" = 1' SQFT: 13.37



D1 5" DEEP FABRICATED ALUMINUM CHANNEL LETTERS,
3/16" WHITE ACRYLIC FACES,
W/ TRANSLUCENT FULL COLOR VINYL PRINT,
INTERNALLY ILLUMINATED W/ WHITE LED'S,
MOUNTED FLUSH TO WALL

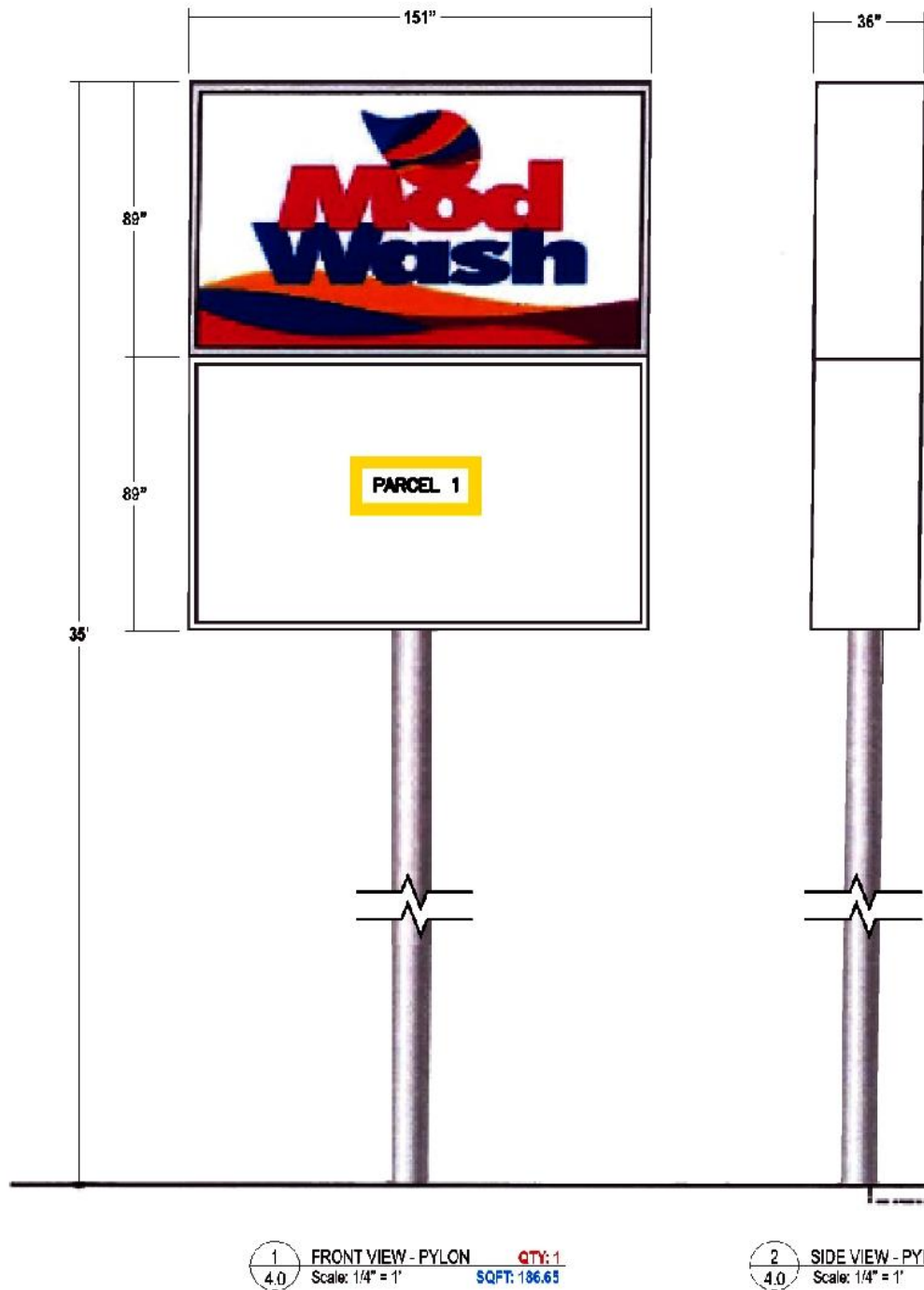
2 FRONT VIEW - VDRIP26 QTY: 1
Scale: 3/4" = 1' SQFT: 26

APPLICATION NUMBER 7 DATE March 3, 2022
APPLICANT Wal-Mart Store # 866 Subdivision, Resubdivision of
REQUEST Subdivision, Planned Unit Development



NTS

DETAIL SITE PLAN



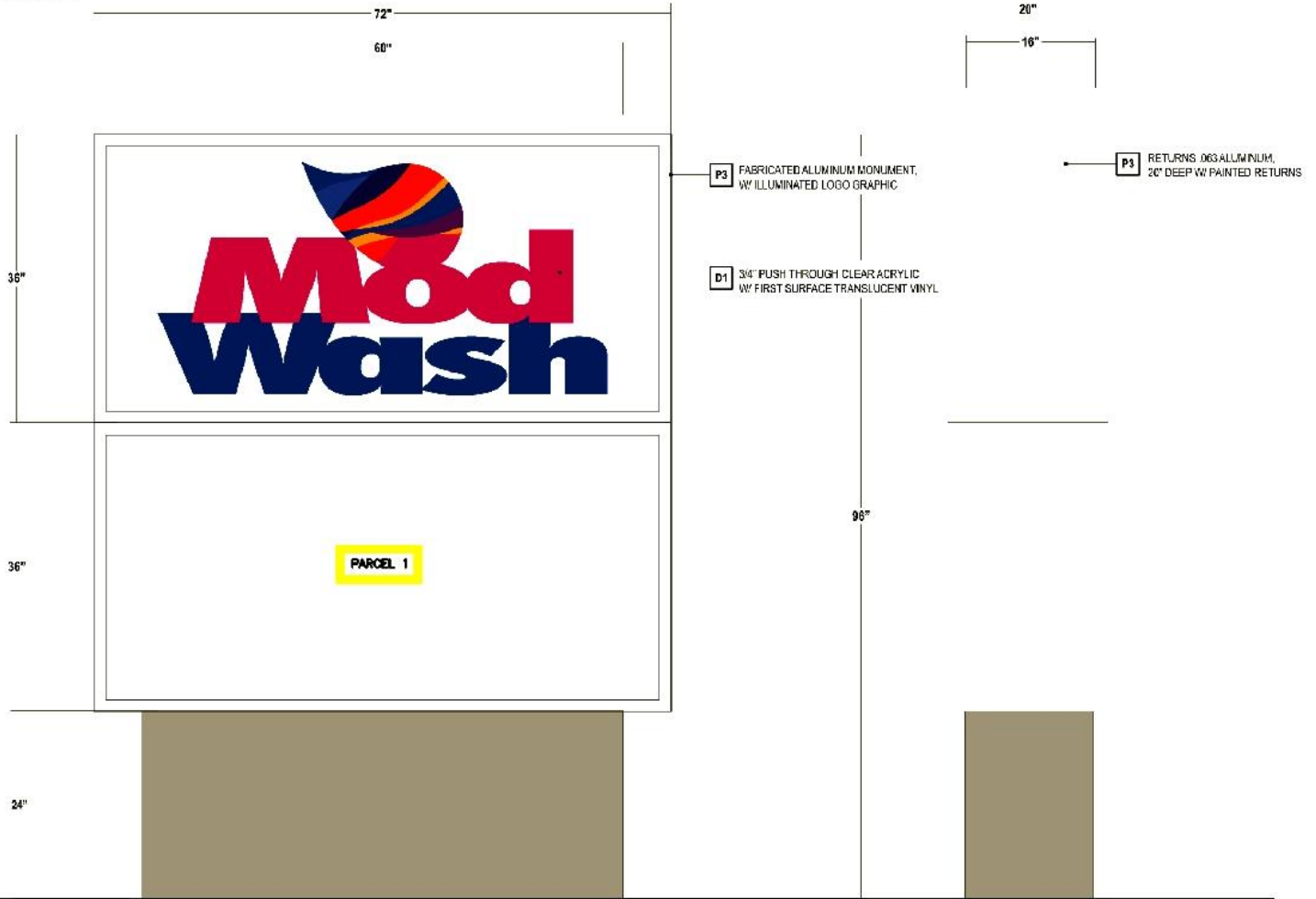
APPLICATION NUMBER 7 DATE March 3, 2022
APPLICANT Wal-Mart Store # 866 Subdivision, Resubdivision of
REQUEST Subdivision, Planned Unit Development



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DETAIL SITE PLAN

E: GS96 ■



1 FRONT VIEW - GROUND
Scale: 1" = 1'

QTY: 1
SQFT: 36

2 SIDE VIEW - GROUND
Scale: 1" = 1'

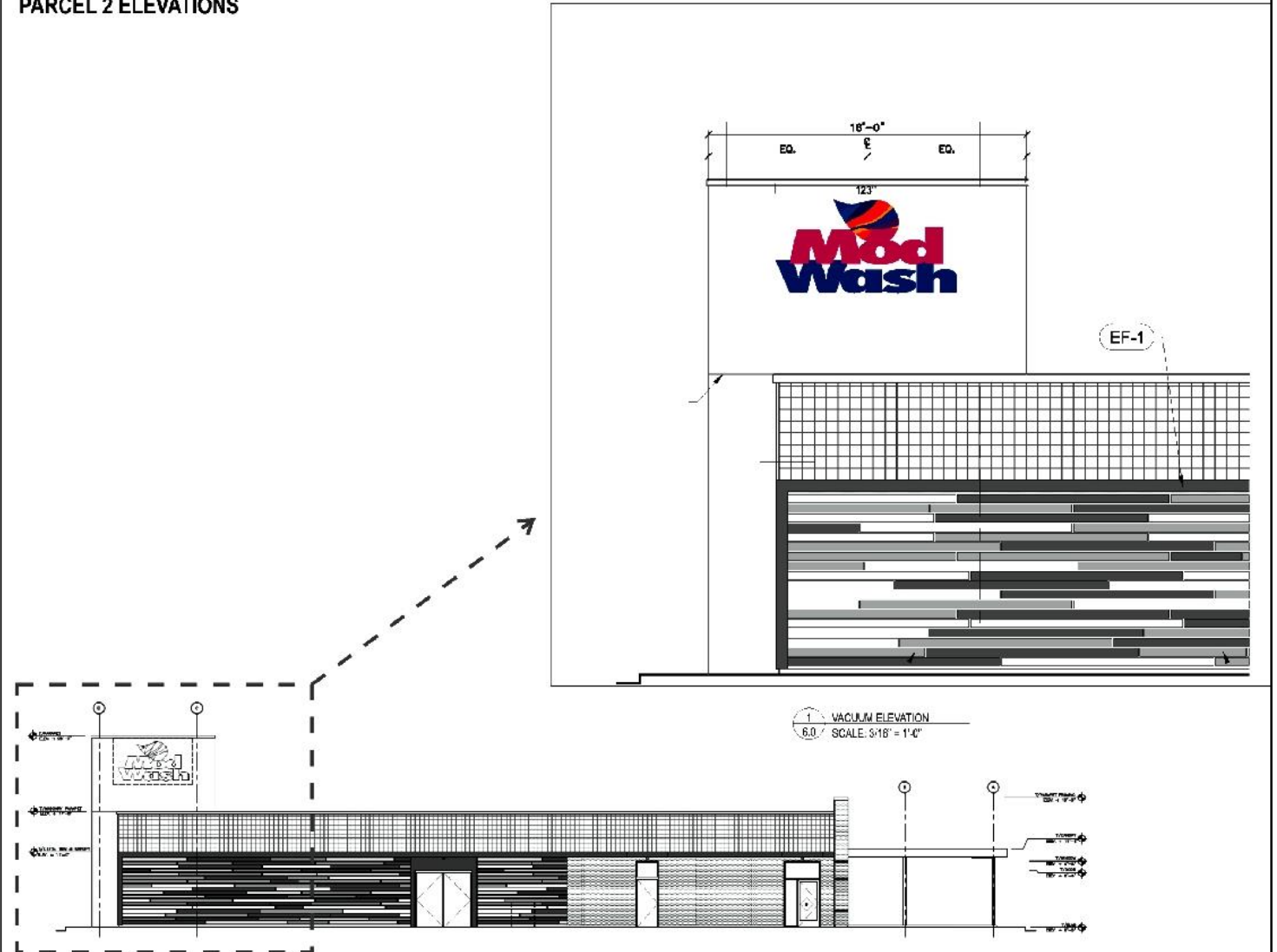
APPLICATION NUMBER 7 DATE March 3, 2022
 APPLICANT Wal-Mart Store # 866 Subdivision, Resubdivision of
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DETAIL SITE PLAN

PARCEL 2 ELEVATIONS



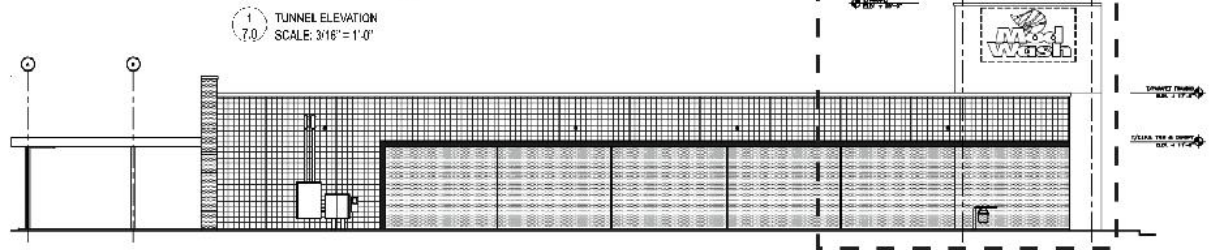
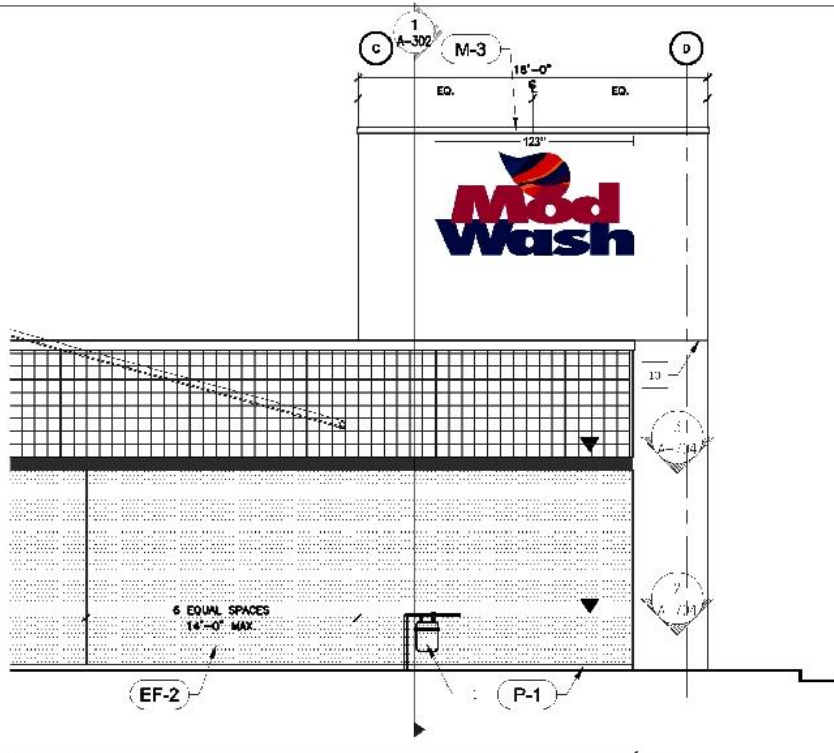
APPLICATION NUMBER 7 DATE March 3, 2022
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DETAIL SITE PLAN

PARCEL 2 ELEVATIONS



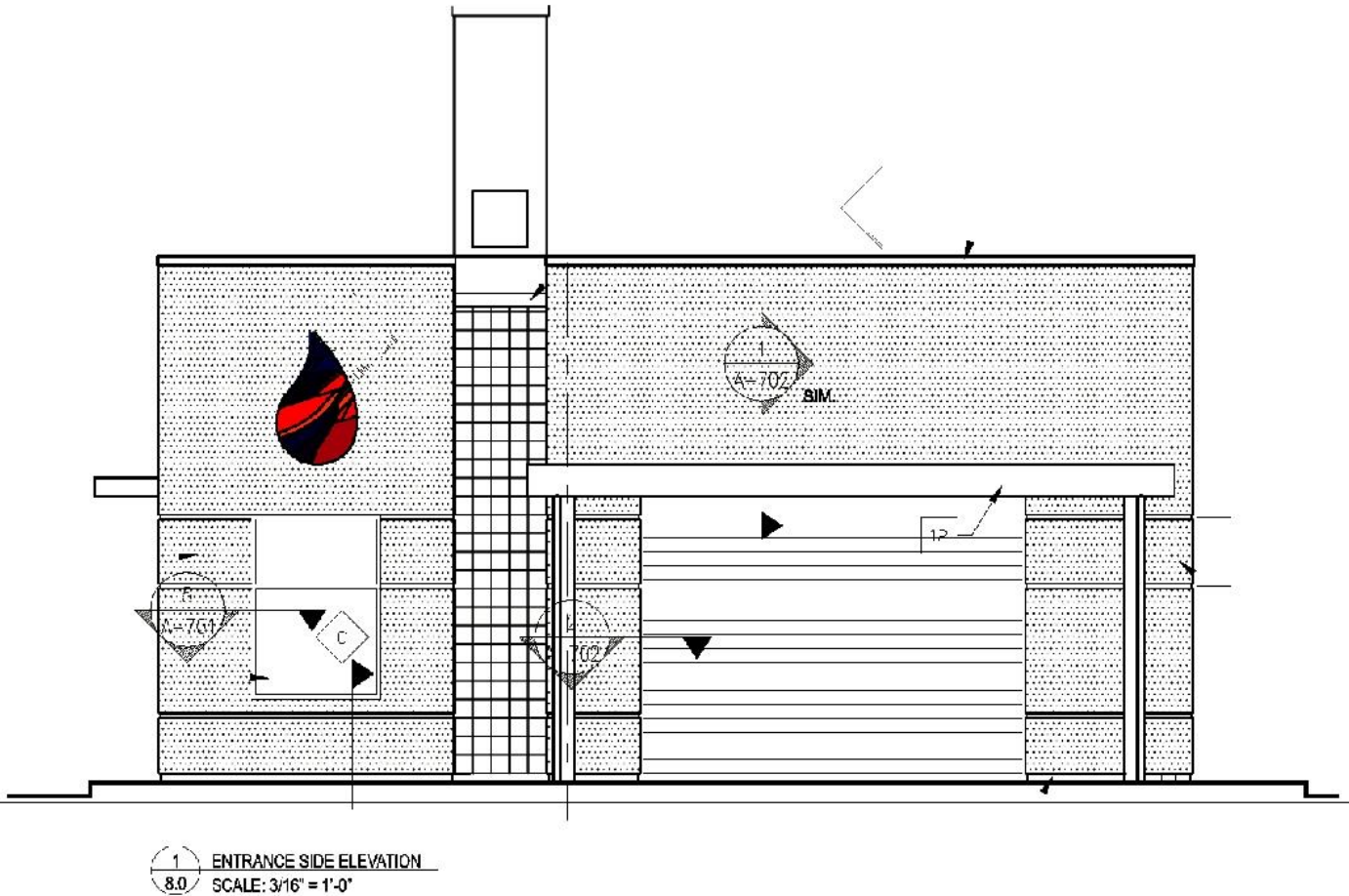
APPLICATION NUMBER 7 DATE March 3, 2022
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DETAIL SITE PLAN

PARCEL 2 ELEVATIONS

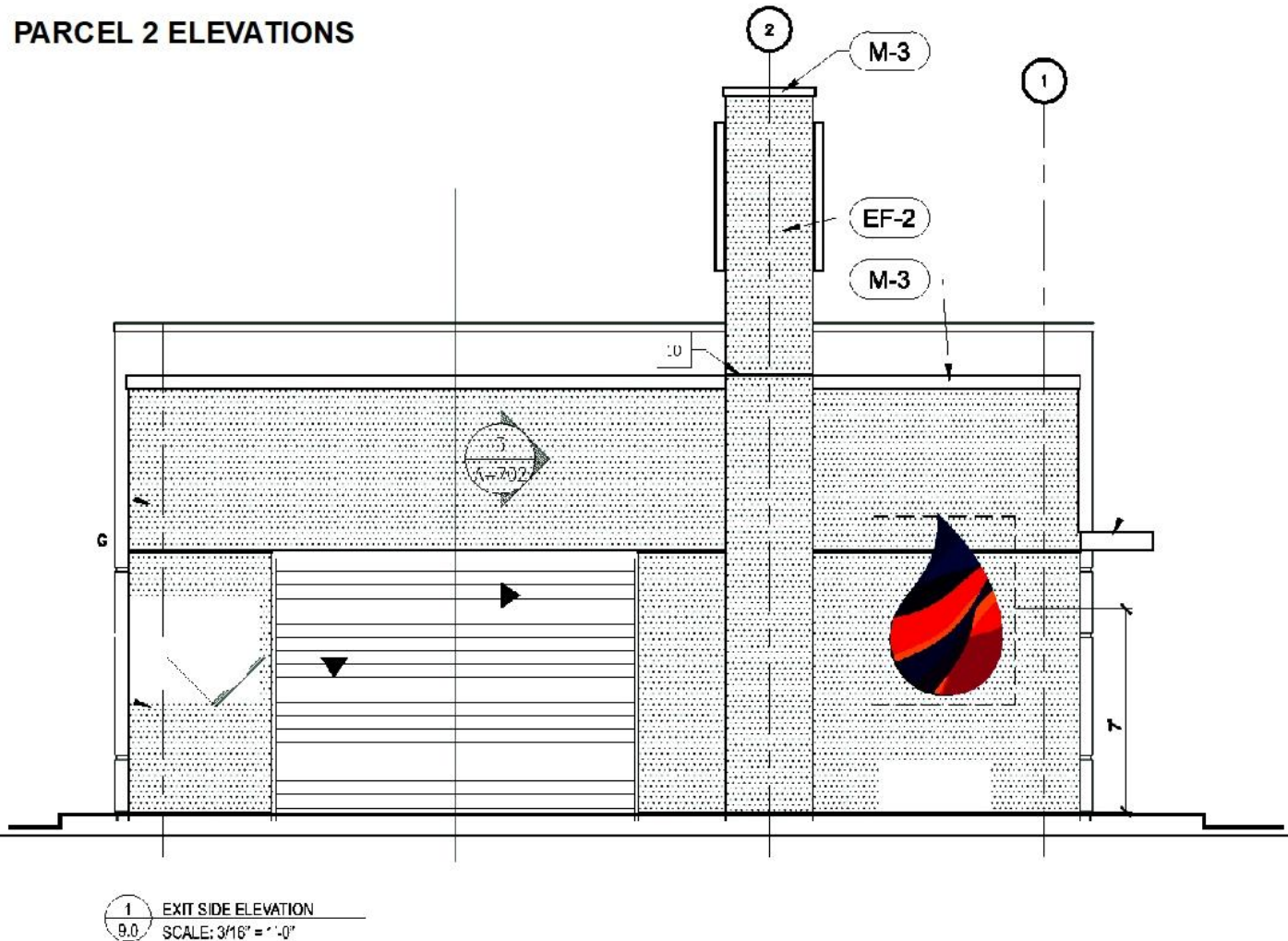


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DETAIL SITE PLAN

PARCEL 2 ELEVATIONS

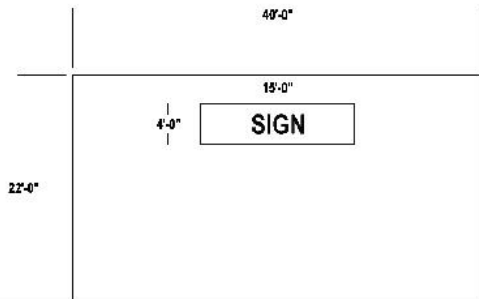


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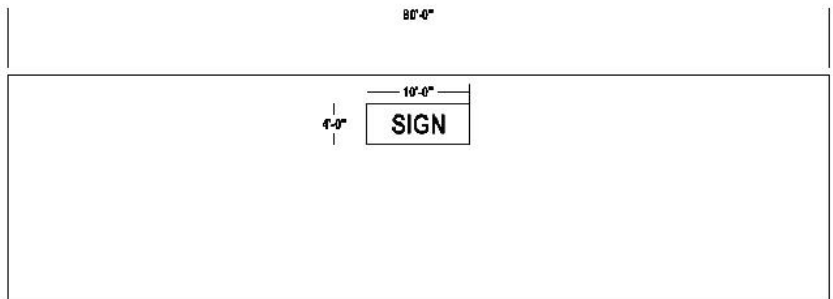


DETAIL SITE PLAN

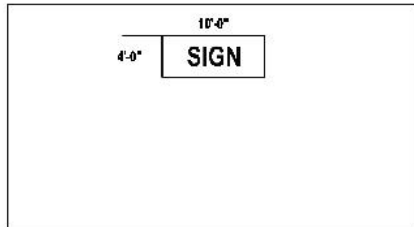
PARCEL 1 ELEVATIONS



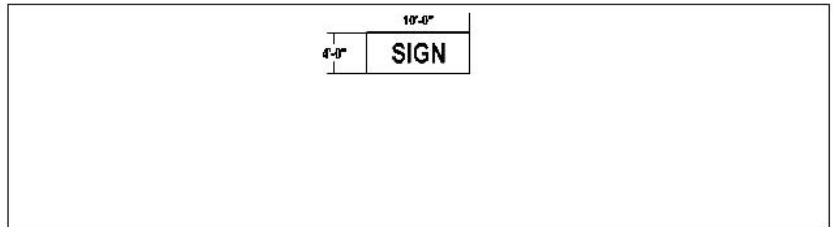
1 WEST ELEVATION QTY: 1
10.0 SCALE: 3/32" = 1'-0" SQ. FT: 60



2 NORTH ELEVATION QTY: 1
10.0 SCALE: 3/32" = 1'-0" SQ. FT: 40



3 EAST ELEVATION QTY: 1
10.0 SCALE: 3/32" = 1'-0" SQ. FT: 40



4 SOUTH ELEVATION QTY: 1
10.0 SCALE: 3/32" = 1'-0" SQ. FT: 40

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