



# Agenda Item # 7

## SUB-003579-2025

View additional details on this proposal and all application materials using the following link:

[Applicant Materials for Consideration](#)

### DETAILS

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**Location:**

1600 University Boulevard South & 4217 Ezekiel Street

**Subdivision Name:**

Logan Cottages Subdivision

**Applicant:**

195, LLC

**Property Owner:**

195, LLC

**Current Zoning:**

R-1, Single-Family Residential Suburban District

**Future Land Use:**

Low Density Residential

**Applicable Codes, Policies, and Plans:**

- Unified Development Code
- Subdivision Regulations
- Map for Mobile Comprehensive Plan

**Proposal:**

- Subdivision approval to create seven (7) legal lots of record from two (2) metes-and-bounds parcels.

**Commission Considerations:**

1. Subdivision approval with seventeen (17) conditions.

**Report Contents:**

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# LOGAN COTTAGES SUBDIVISION



APPLICATION NUMBER 7 DATE January 15, 2026



## SITE HISTORY

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The subject site was annexed into the City of Mobile in 1956 and assigned an R-1, Single-Family Residential District zoning classification.

In May 2025, the Planning Commission approved a seven (7)-lot private street subdivision for the site. The plat for that subdivision has not been signed.

The site has no history of ever going before the Board of Zoning Adjustment.

## STAFF COMMENTS

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### Engineering Comments:

FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Clearly delineate PHASE 1 and PHASE 2 and provide a NOTE stating the limits of each PHASE.
- C. Retain ENGINEERING COMMENTS 1-7.
- D. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at [land.disturbance@cityofmobile.org](mailto:land.disturbance@cityofmobile.org) prior to obtaining any signatures. No signatures are required on the drawing.

### Traffic Engineering Comments:

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Article 3, Section 64-3-12 of the City's Unified Development Code.

### Urban Forestry Comments:

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.

### Fire Department Comments:

All projects located within the City Limits of Mobile shall comply with the provisions of the City of Mobile Fire Code Ordinance, which adopts the 2021 edition of the International Fire Code (IFC).

Fire apparatus access roads shall be provided to within 150 feet of all non-sprinklered commercial buildings and within 300 feet of all sprinklered commercial buildings, as measured along an approved route around the exterior of the facility.

An approved fire water supply capable of meeting the requirements set forth in Appendices B and C of the 2021 IFC shall be provided for all commercial buildings.

Fire hydrant placement shall comply with the following minimum standards:

- Within 400 feet of non-sprinklered commercial buildings
- Within 600 feet of sprinklered commercial buildings
- Within 100 feet of fire department connections (FDCs) serving standpipe or sprinkler systems

Although the International Residential Code (IRC) functions as a stand-alone document for the construction of one- and two-family dwellings and townhouses, it does not govern the design or layout of emergency access or community-level fire protection infrastructure. Therefore, residential developments must also comply with the applicable requirements of the International Fire Code, including, but not limited to, those listed above concerning the design, construction, regulation, and maintenance of fire apparatus access roads and fire protection water supplies.

### **Planning Comments:**

The purpose of this request is to create seven (7) legal lots of record from two (2) existing metes-and-bounds parcels. The site is served by public water and sanitary sewer services.

The preliminary plat submitted with this application is a revision of the plat submitted with the May 2025 application for the subject site, and incorporating the conditions of approval placed by the Planning Commission. However, the plat now includes two (2) phases of development which were not part of the original submission and approval. Proposed Phase 1 includes the four (4) lots fronting South University Boulevard, and Phase 2 includes the other three (3) lots proposed on the private street portion which is an extension of Ezekiel Street. The separate phases are now indicated on the preliminary plat.

As mentioned, the preliminary plat incorporates the Commission's approval conditions of May 2025, most notably the depiction of an adequate private street right-of-way width as approved by the City Engineer. The private street turnaround has been revised to meet the Fire Department requirements.

The preliminary plat indicates all lots would exceed the minimum lot area requirements of the Subdivision Regulations for lots in an R-1, Single-Family Residential Suburban District. However, all proposed lots are less than 60 feet wide, as required by Section 6.C.2.(b)(2) of the Subdivision Regulations. The three (3) lots fronting the private street extension of Ezekiel Street would exceed the maximum depth allowed under Section 6.C.3. of the Subdivision Regulations.

The site has frontage on University Boulevard South and Ezekiel Street. University Boulevard South is a component of the Major Street Plan with a planned 100-foot right-of-way along the site, and a current right-of-way width of 180 feet. Therefore, no dedication would be required along South University Boulevard. Ezekiel Street is a closed end minor collector street with curb and gutter and a compliant 50-foot right-of-way. If approved, the right-of-way width of both streets should be retained on the Final Plat.

The preliminary plat indicates a 25-foot minimum building setback line along South University Boulevard, and a 75-foot minimum building setback line along the private street (Walsh Court). As on the preliminary plat, the building setback lines should be retained on the Final Plat, if approved.

The lot size labels in both square feet and acres should be retained on the Final Plat, if approved, or a table should be furnished on the Final Plat providing the same information.

No easements are indicated on the preliminary plat. If easements are indicated on the Final Plat, a note should be placed on the Final Plat stating that no structure may be placed or constructed within an easement without permission of the easement holder.

Two (2) Common Areas are indicated on the preliminary plat. If approved, a note should be required on the Final Plat stating that the maintenance of the Common Areas is the responsibility of the property owners.

As the subdivision would contain a private street, several notes pertaining to such should be required on the Final Plat. A note should be required stating that the private street is privately maintained and there shall be no public right-of-way, per Sections 9.D.1(b)(5) and 9.D.1(b)(7) of the Subdivision Regulations.

A note should be required on the Final Plat stating that if the private street is ultimately dedicated for public use and maintenance, 100 percent of the cost of the improvements required to bring the street up to the prevailing standards shall be assessed to the property owner(s) at the time the private street is dedicated, and that said assessment shall run with the land to any subsequent property owners, per Section 9.D.1(b)(9) of the Subdivision Regulations.

Prior to signing the plat, per Section 9.D.1(b)(6) of the Subdivision Regulations, the applicant is to present a legal document to the Planning and Zoning Department to run as a covenant with the land providing for continuing maintenance of the private street by an owners' association, or other entity, granting rights of ingress and egress for emergency and utility maintenance vehicles and holding harmless the city from damages to any owner within the subdivision arising, or which may arise, out of the existence of the private street. This document shall be approved by the City Attorney or their designee as to form and legality and shall be properly executed and recorded simultaneously with the Final Plat in the records of Mobile County Probate Court.

In compliance with Section 9.D.1(b)(8) of the Subdivision Regulations, a sign shall be posted and maintained at the entrance to the private street with the street name and identifying it as a private street, per Manual on Uniform Traffic Control Devices (MUTCD) standards with a blue background and white legend. The sign shall be made to city standards, and the name of the private street must be approved by the City Engineer.

## **SUBDIVISION CONSIDERATIONS**

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### **Standards of Review:**

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

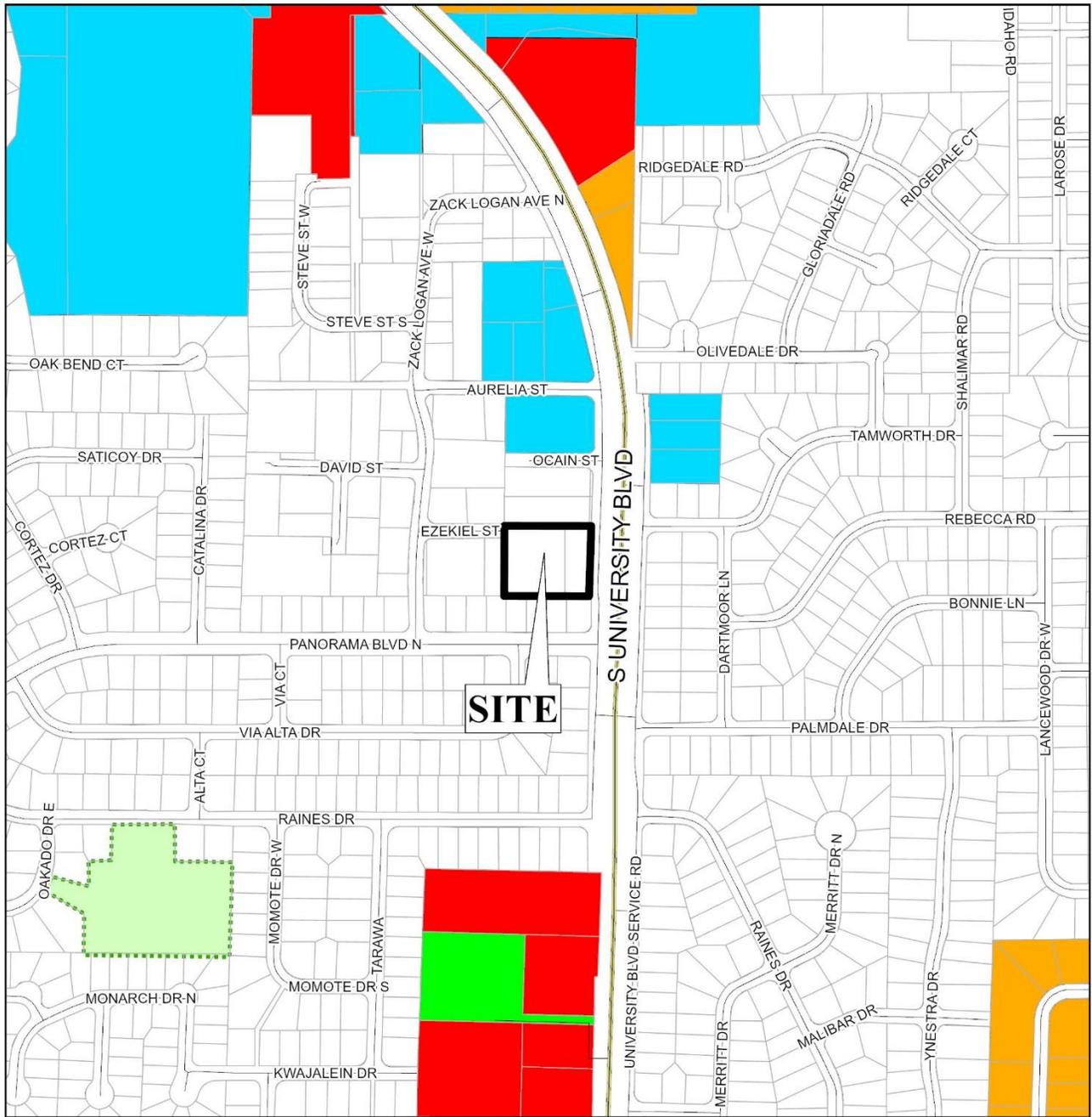
### **Considerations:**

If the Planning Commission considers approving the Subdivision request, and with waivers of Sections 6.C.2.(b)(2) and 6.C.3. of the Subdivision Regulations, the following conditions could apply:

- 1) Retention of the proposed Phases as indicated on the preliminary plat;
- 2) Retention of the private street design on the Final Plat;
- 3) Retention of the private street name (Walsh Court) on the Final Plat;
- 4) Retention of the right-of-way widths of South University Boulevard and Ezekiel Street on the Final Plat;
- 5) Retention of the 25-foot minimum building setback line along South University Boulevard on the Final Plat;

- 6) Retention of the 75-foot minimum building setback along the private street (Walsh Court) on the Final Plat;
- 7) Retention of the lot size labels in both square feet and acres on the Final Plat, or the furnishing of a table on the Final Plat providing the same information;
- 8) Placement of a note on the Final Plat stating that the maintenance of the Common Areas is the responsibility of the property owners;
- 9) Placement of a note on the Final Plat stating that no structure may be placed or constructed within an easement without permission of the easement holder;
- 10) Placement of a note on the Final Plat stating that the private street is privately maintained and there shall be no public right-of-way, per Sections 9.D.1(b)(5) and 9.D.1(b)(7) of the Subdivision Regulations;
- 11) Placement of a note on the Final Plat stating if the private street is ultimately dedicated for public use and maintenance, 100 percent of the cost of the improvements required to bring the street up to the prevailing standards shall be assessed to the property owner(s) at the time the private street is dedicated, and that said assessment shall run with the land to any subsequent property owners, per Section 9.D.1(b)(9) of the Subdivision Regulations;
- 12) Prior to signing the plat, the applicant is to present a legal document to the Planning and Zoning Department to run as a covenant with the land providing for continuing maintenance of the private street by an owners' association, or other entity, granting rights of ingress and egress for emergency and utility maintenance vehicles and holding harmless the city from damages to any owner within the subdivision arising, or which may arise, out of the existence of the private street. This document shall be approved by the City Attorney or their designee as to form and legality and shall be properly executed and recorded simultaneously with the Final Plat in the records of Mobile County Probate Court;
- 13) In compliance with Section 9.D.1(b)(8) of the Subdivision Regulations, a sign shall be posted and maintained at the entrance to the private street with the street name and identifying it as a private street, per Manual on Uniform Traffic Control Devices (MUTCD) standards with a blue background and white legend. The sign shall be made to city standards, and the name of the private street must be approved by the City Engineer.
- 14) Compliance with the Engineering comments noted in the staff report;
- 15) Placement of a note on the Final Plat stating the Traffic Engineering comments noted in the staff report;
- 16) Compliance with all Urban Forestry comments noted in the staff report; and
- 17) Compliance with all Fire Department comments noted in the staff report.

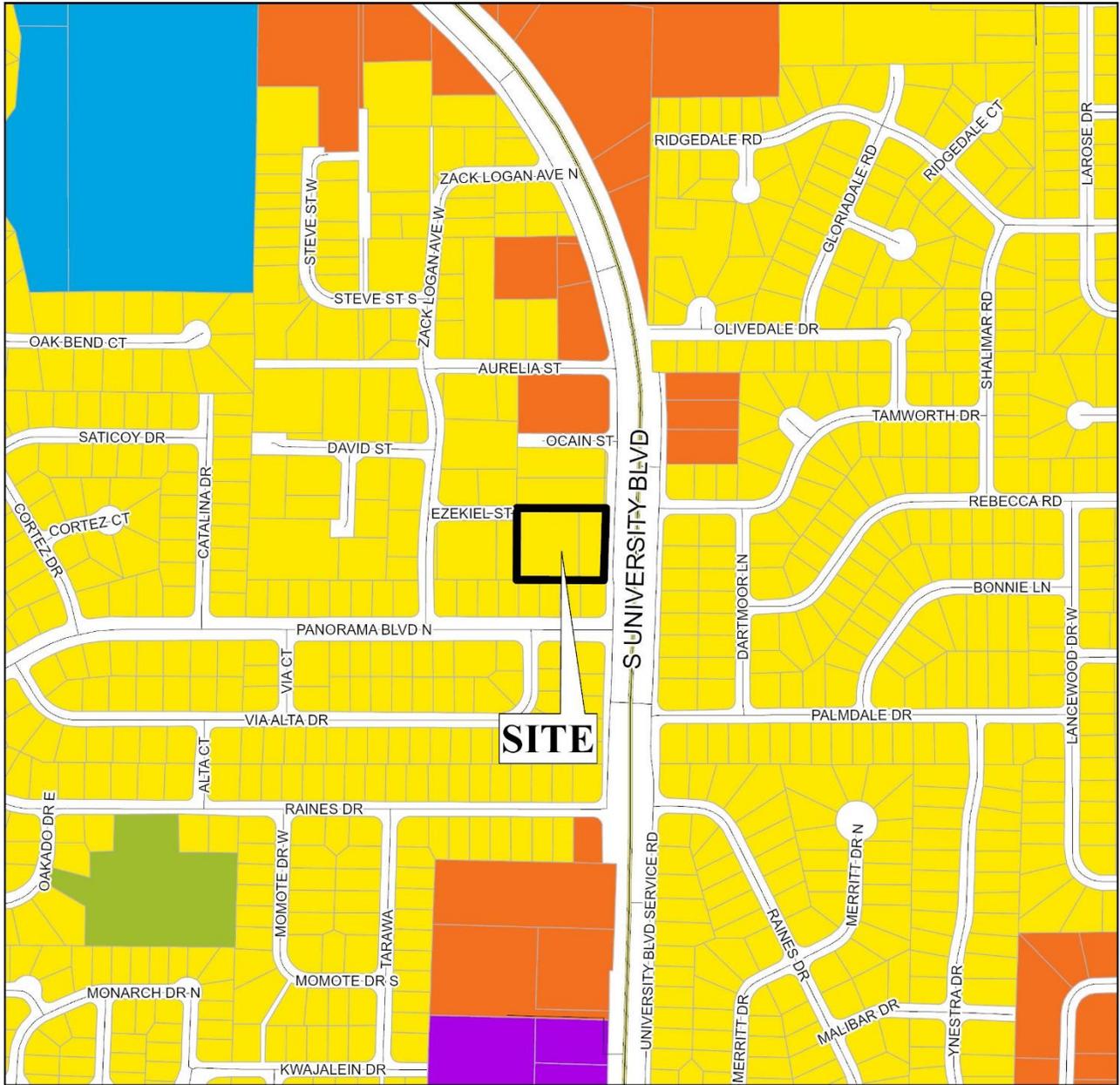
# LOCATOR ZONING MAP



APPLICATION NUMBER	7	DATE	January 15, 2026
APPLICANT	Logan Cottages Subdivision		
REQUEST	Subdivision		



# FLUM LOCATOR MAP



APPLICATION NUMBER 7 DATE January 15, 2026

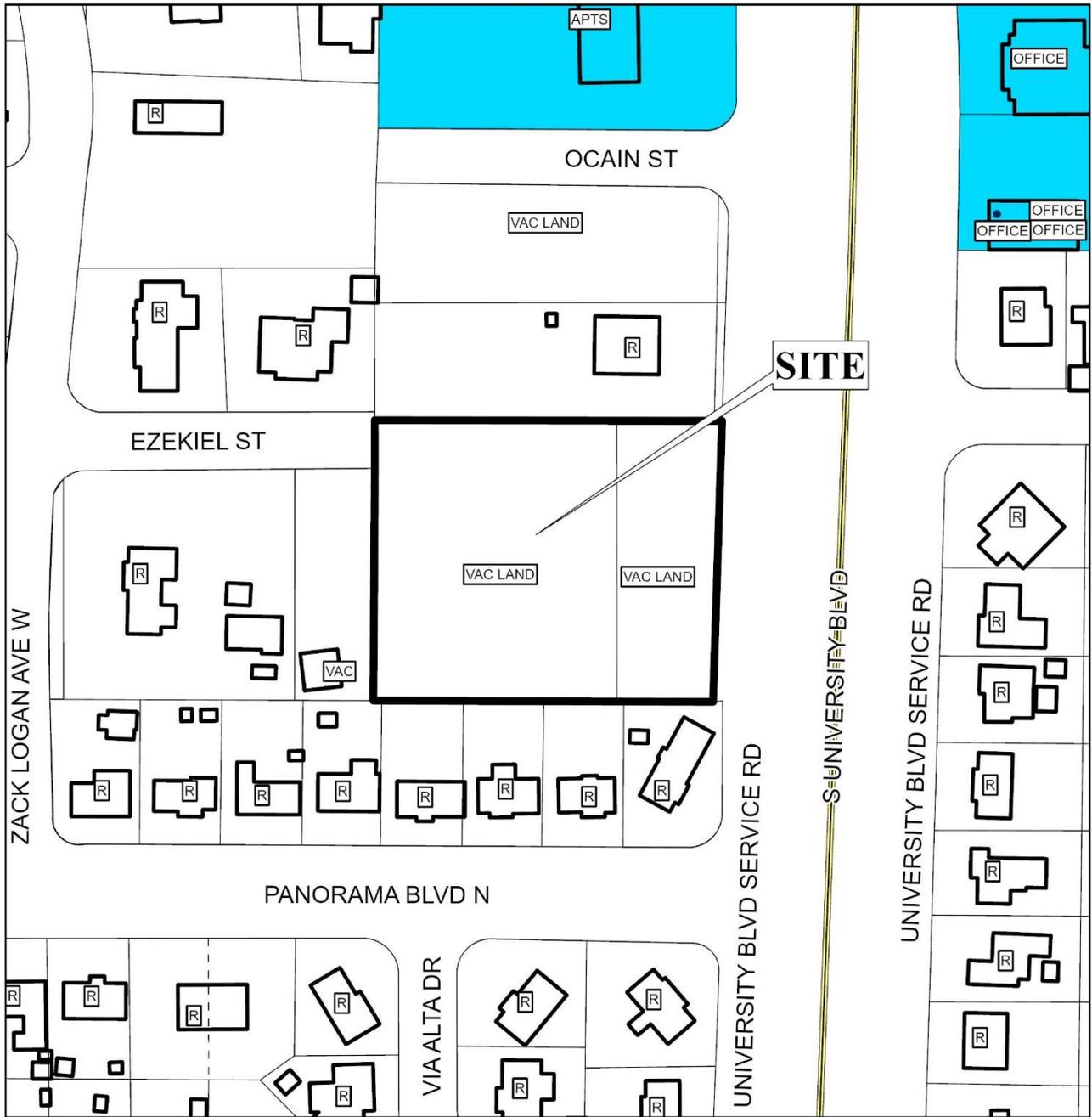
APPLICANT Logan Cottages Subdivision

REQUEST Subdivision

<span style="display: inline-block; width: 15px; height: 10px; background-color: yellow; border: 1px solid black;"></span> Low Density Residential	<span style="display: inline-block; width: 15px; height: 10px; background-color: #800000; border: 1px solid black;"></span> Neighborhood Center - Traditional	<span style="display: inline-block; width: 15px; height: 10px; background-color: #d3d3d3; border: 1px solid black;"></span> Light Industry	<span style="display: inline-block; width: 15px; height: 10px; background-color: #008080; border: 1px solid black;"></span> Water Dependent
<span style="display: inline-block; width: 15px; height: 10px; background-color: #ffff00; border: 1px solid black;"></span> Mixed Density Residential	<span style="display: inline-block; width: 15px; height: 10px; background-color: #800080; border: 1px solid black;"></span> Neighborhood Center - Suburban	<span style="display: inline-block; width: 15px; height: 10px; background-color: #663399; border: 1px solid black;"></span> Heavy Industry	
<span style="display: inline-block; width: 15px; height: 10px; background-color: #ff0000; border: 1px solid black;"></span> Downtown	<span style="display: inline-block; width: 15px; height: 10px; background-color: #ff66ff; border: 1px solid black;"></span> Traditional Corridor	<span style="display: inline-block; width: 15px; height: 10px; background-color: #00bfff; border: 1px solid black;"></span> Institutional	
<span style="display: inline-block; width: 15px; height: 10px; background-color: #ff4500; border: 1px solid black;"></span> District Center	<span style="display: inline-block; width: 15px; height: 10px; background-color: #ffa500; border: 1px solid black;"></span> Mixed Commercial Corridor	<span style="display: inline-block; width: 15px; height: 10px; background-color: #90ee90; border: 1px solid black;"></span> Parks, Open Space	



# LOGAN COTTAGES SUBDIVISION

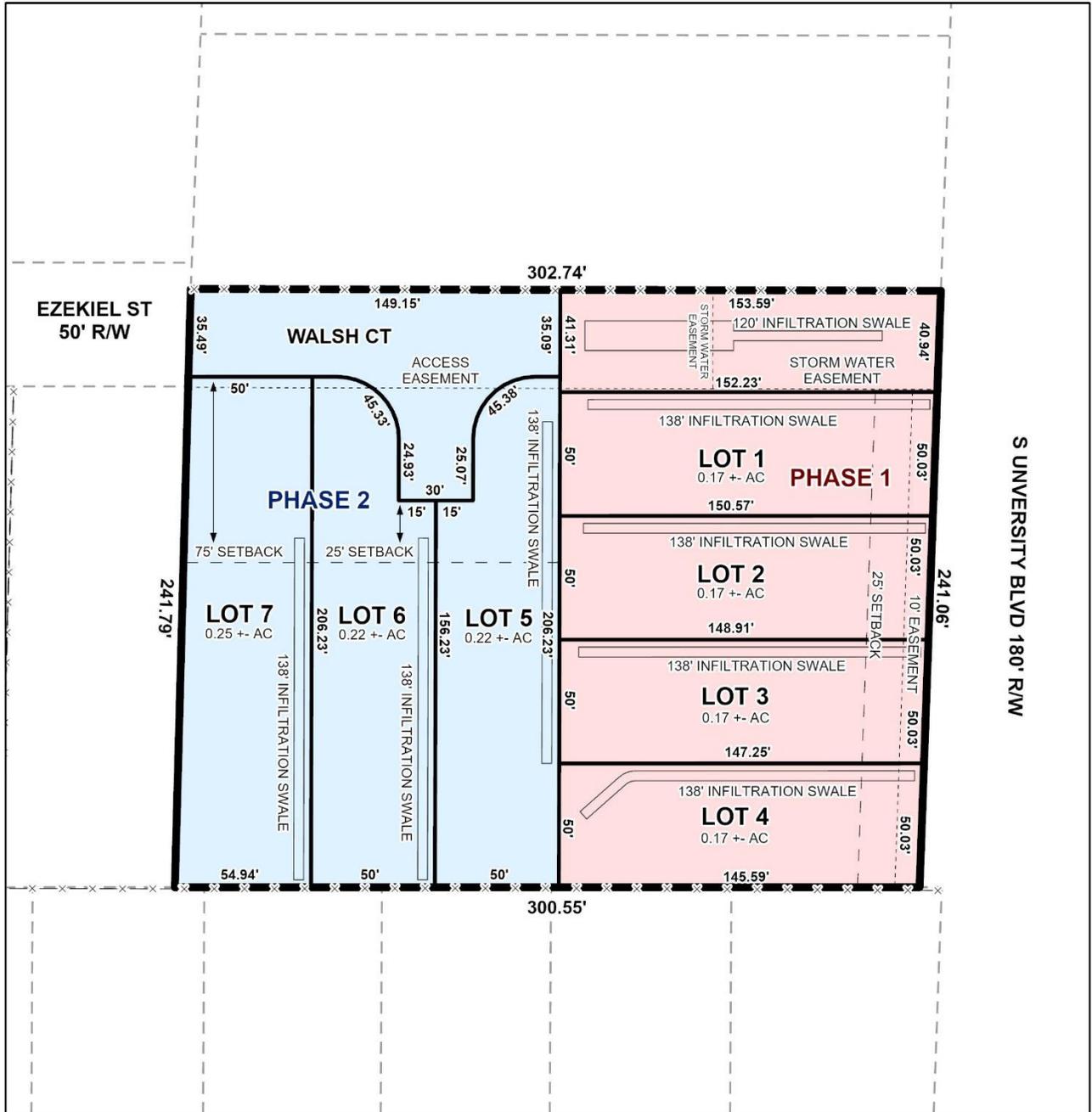


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R-A	R-3	B-1	B-2	B-5	ML	I-2	OPEN	T-3	T-5.2
R-1	R-B	T-B	B-3	CW	MH	PD	SD	T-4	T-6
R-2	H-B	LB-2	B-4	MM	I-1	MUN	SD-WH	T-5.1	



# DETAIL SITE PLAN



APPLICATION NUMBER 7 DATE January 15, 2026  
 APPLICANT Logan Cottages Subdivision  
 REQUEST Subdivision





**LOW DENSITY RESIDENTIAL (LDR)**

This designation applies to residential neighborhoods found mostly west of I-65 or immediately adjacent to the east side of I-65. These areas are primarily single family residential, but may contain small-scale complimentary uses and other residential types at appropriate locations. An LDR area may include a wide range of lot sizes, housing size and styles, including some small-scale multi-unit buildings, but housing styles are highly consistent within a subdivision and tend to have limited connectivity between residential types and non-residential uses. Neighborhoods tend to have longer blocks and may be designed in a network of meandering streets. Residential density ranges between 0 and 6 dwelling units per acre (du/ac).

**Development Intent**

- › Complementary uses are designed and sited in a manner compatible with and connected to the surrounding context.
- › The presence of individual ancillary uses should contribute to the fabric of a complete neighborhood, developed at a walkable, bikeable human scale.
- › When establishing new residential areas or expanding existing developments, provide pedestrian and vehicular connectivity between adjacent developments.

**Land use mix**

**Primary Uses**

- › Residential, Single family
- › Residential, Attached

**Secondary Uses**

- › Residential, Multifamily
- › Civic
- › Parks

**Housing mix**

- › Predominantly single family subdivisions with lots smaller than one acre
- › Attached residential such as duplexes, multiplexes, and townhomes that have the scale of a single family home

**Character Example**

