

**SUBDIVISION &
SIDEWALK WAIVER STAFF REPORT****Date: November 3, 2011****NAME**

Board of Water and Sewer Commissioners

SUBDIVISION NAME

MAWSS Stickney Facility Subdivision

LOCATION

4800 Moffett Road
(Northwest corner of Moffett Road and Shelton Beach Road Extension extending to the East side of Woodley Road, 420'± North of Moffett Road, extending to the East terminus of Mercedes Road extending to the South side of Le Ruth Road, 440'± North of Mercedes Road)

**CITY COUNCIL
DISTRICT**

District 1

AREA OF PROPERTY

1 Lots / 42 ± acres

PRESENT ZONING

R-1, Single Family Residential District

**ENGINEERING
COMMENTS**

Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

There does not appear to be sufficient room to construct a City standard sidewalk within the ROW.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT
COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is seeking Subdivision approval to create 1 lot, and Sidewalk Waiver approval to waive construction of a sidewalk along Shelton Beach Road, Woodley Road, Mercedes Road, Le Ruth Road and a portion of Moffett Road. The site is located in Council District 1, and according to the applicant is served by public water and sanitary sewer.

The purpose of this application is to create one lot for an existing water treatment facility, and waive construction of sidewalks along five abutting roads. The applicant received Planning Approval to operate the water treatment plant and Planned Unit Development approval for multiple buildings on a single site at the Planning Commissions April 21, 2011 meeting. A condition of approval at the meeting was to submit a request for Subdivision and, if desired, Sidewalk Waiver approval for the site by the end of October 2011.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The water treatment plant has one existing curb-cut onto Shelton Beach Road and three existing curb-cuts onto Moffett Road (US Highway 98), however, only one of the Moffett Road curb-cuts is actually utilized. As the site is subject to site plan specific approvals via the Planning Approval and the Planned Unit Development, the site should be limited to its existing curb-cuts. Furthermore, any changes to the existing curb-cuts, or any new curb-cuts, must be approved by Traffic Engineering and ALDOT. Curb-cuts to Le Ruth Road and Mercedes Road should be denied.

The 25-foot minimum building setback line from all public right-of-ways, required in Section V.D.9., is not shown for the subdivision, but would be required on the final plat, if approved.

The site is labeled with its size in acres, but should also include a label with the size in square feet.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Regarding the requested Sidewalk Waiver, the applicant is requesting that the sidewalks along all adjacent road frontages – Moffett, Shelton Beach, Woodley, Mercedes, and Le Ruth Roads – be waived. A primary concern is security, as the water treatment facility prepares potable water for public consumption: the Department of Homeland Security requires water facilities to be secure, and the applicant believes that encouraging pedestrian activity along the perimeter of the property may cause security problems. Secondary concerns are slope and right-of-way limitations (width, existing power poles, etc) along various segments of the abutting streets.

It should be pointed out that the Mobile City Council adopted a “complete streets” policy on May 31, 2011. The purpose of the complete streets policy is to support the design and

construction of streets to enable safe access to all users, including pedestrians, bicyclists, transit riders, motorists, commercial and emergency vehicles, and for people of all ages and abilities. A waiver of the sidewalk, as requested, will limit accessibility for pedestrians, transit riders and cyclists.

Moffett Road is a seven lane major street, with a traffic volume in 2010 of over 32,000 vehicles per day on average. Shelton Beach Road is a minor two and three lane street, with only 3400 vehicles per day on average, however, a new apartment complex and a proposed MAWSS fleet maintenance facility on Shelton Beach Road will increase both vehicular and pedestrian traffic. All of the other abutting streets are minor neighborhood streets. There are no existing sidewalks on any of the abutting streets, nor within 400 feet of the site, with the exception of a segment along Moffett Road, in between the two frontages of the MAWSS property along Moffett Road.

The Wave Transit System's Outbound Route 4 passes by the site along Moffett Road, prior to turning onto Westbound Overlook Road, thus pedestrians may seek access to/from any adjacent bus stops.

A shopping center containing a grocery store is located to the East across Shelton Beach Road from the site, while other commercial areas are located South, across Moffett Road from the site. Residential areas are located to the West and the North of the site.

It would appear that sidewalks could be constructed along Moffett Road, and Shelton Beach Road, however, in some cases a relocation of the existing security fencing may be necessary in order to provide adequate room for a sidewalk. Due to the heavy traffic volume along Moffett, this link would be of most critical need: a sidewalk along Shelton Beach would be desirable, due to increasing traffic volumes associated with the new apartments and the proposed MAWSS fleet maintenance facility. Sidewalks along the other adjacent, minor residential streets, would be desirable, but less of a safety necessity in comparison to Moffett and Shelton Beach Roads.

The Engineering Department's comment is that there is insufficient room to construct a City standard sidewalk within the right-of-way.

RECOMMENDATION

Subdivision: Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

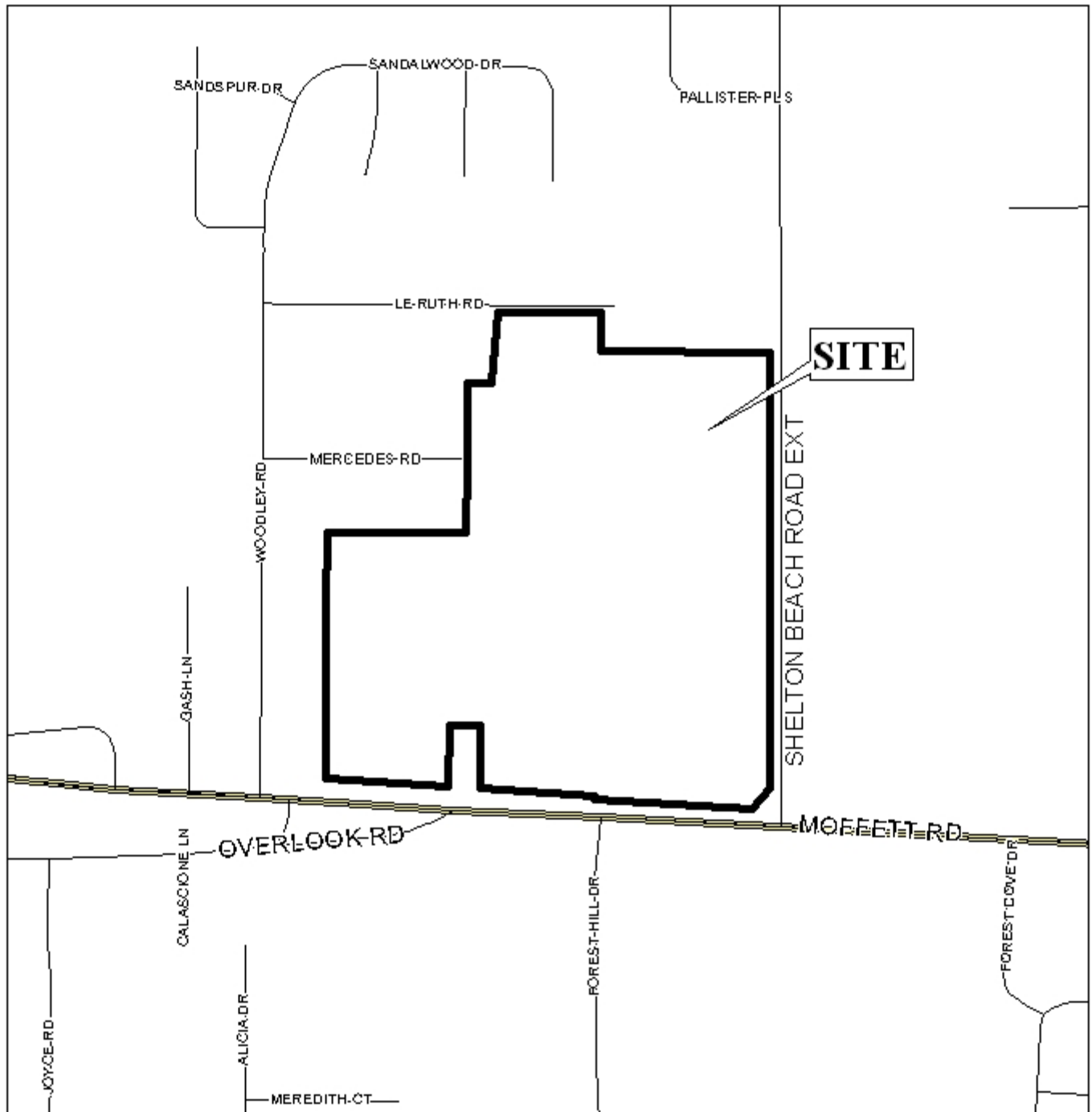
- 1) Revision of the plat to depict a 25-foot minimum building setback line from all public right-of-ways;
- 2) Placement of a note on the plat stating that the site is limited to its three (3) existing curb-cuts onto Moffett Road, and its one (1) existing curb-cut onto Shelton Beach Road and denied access to Mercedes and Le Ruth Roads, with any changes to the curb-cuts to be approved by Traffic Engineering and ALDOT, and subject to new applications for Planning Approval and Planned Unit Development review;
- 3) Revision of the plat to also label the site size in square feet, in addition to acres; and
- 4) Placement of a note on the plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Sidewalk Waiver: Based upon the preceding, this application is recommended as follows:

Denial: Moffett Road and Shelton Beach Road – a sidewalk may be possible with an easement and relocation of an existing fence.

Approval: Woodley Road, Mercedes Road and Le Ruth Roads – a sidewalk is not required.

LOCATOR MAP



APPLICATION NUMBER 7 & 8 DATE November 3, 2011

APPLICANT MAWSS Stickney Facility Subdivision

REQUEST Subdivision, Sidewalk Waiver



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single-family residential units are located to the west of the site.
Commercial land use is located to the east and south of the site.

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

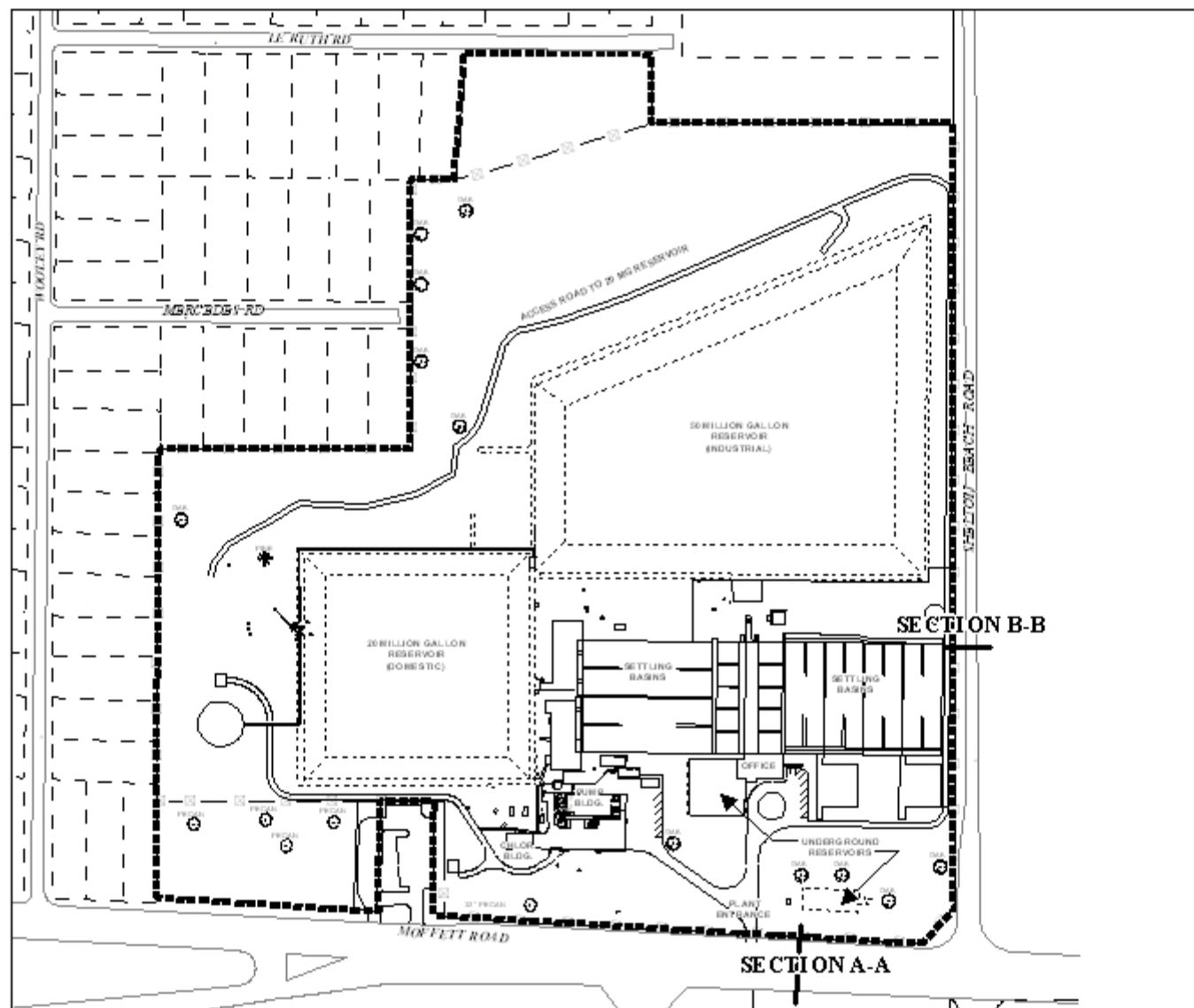


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N
NTS

SITE PLAN

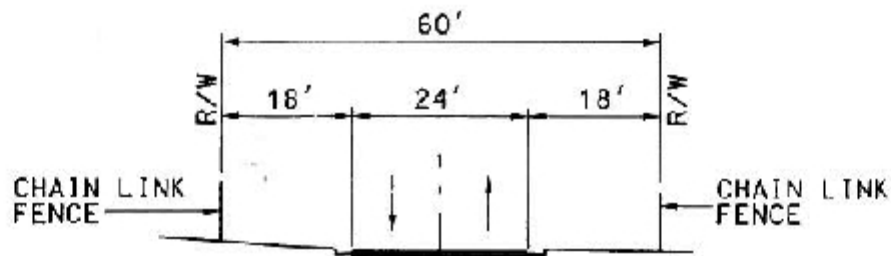


The site plan illustrates the existing water treatment facility.

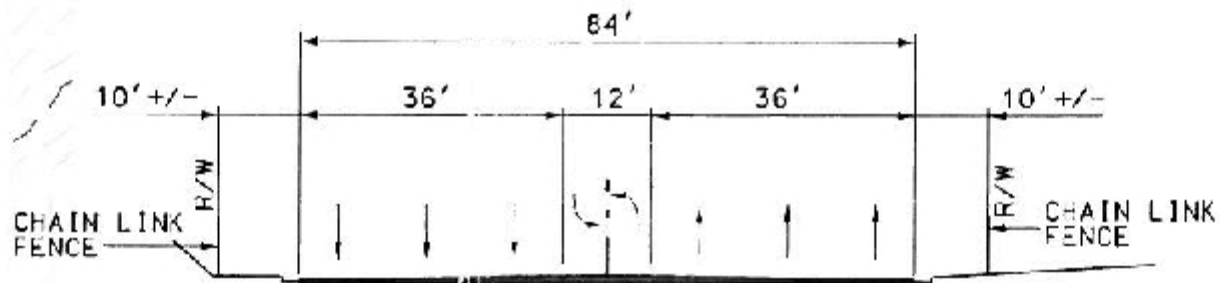
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N
 NTS

SIDEWALK CROSS SECTION DETAIL



SECTION B-B



SECTION A-A

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N
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NTS