

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: September 16, 2010****DEVELOPMENT NAME**

Josephine Allen Subdivision

SUBDIVISION NAME

Josephine Allen Subdivision

LOCATION

North side of Dr. Thomas Avenue North at the Northern terminus of Reddy Street, and extending North to the Southern terminus of Borer Avenue and Butts Street, and to the Northern terminus of Ross Avenue (private street)

**CITY COUNCIL
DISTRICT**

District 2

AREA OF PROPERTY

4 Lots / 43.8 ± acres

CONTEMPLATED USE

Planned Unit Development Approval to allow multiple buildings on a single building site, shared access and private streets in a Multi-Family Residential District, and Subdivision approval to create 4 lots.

**TIME SCHEDULE
FOR DEVELOPMENT**

Lots 1 and 2: no schedule provided for new construction
Lots 3 and 4: already developed

**ENGINEERING
COMMENTS**

A flood study is required to establish a base flood elevation in flood zone "A". Show Minimum Finished Floor Elevation on Plat for each lot. There is to be no fill placed within the limits of the flood plain without providing compensation. A drainage easement will be required for any structure carrying public water, width and alignment of such easements to be coordinated with City Engineer. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. Move driveway access on Dr. Thomas Avenue to the west end of the parking lot to avoid conflicts with the Stimrad Road intersection.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Preservation status is to be given to the 50" Live Oak Tree, 35" Live Oak Tree, 40" Live Oak Tree, and the 36" Live Oak Tree located on Lot 1. Any work on or under these trees is to be

permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

Note that the 55" and 60" Live Oak Trees will require tree removal permits from Urban Forestry if removal is requested, but due to their condition, preservation status is not advised.

FIRE DEPARTMENT

COMMENTS

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

REMARKS

The applicant is seeking Planned Unit Development Approval to allow multiple buildings on a single building site, shared access and private streets in a Multi-Family Residential District, and Subdivision approval to create 4 lots. The site is located in Council District 2, and according to the applicant is served by public water and sanitary sewer.

The purpose of this application is to create four legal lots, and to accommodate new development via PUD approval on proposed Lots 1 and 2: a total of 14 dwelling units (7 duplex structures) and a new cultural arts center are proposed. Lots 1 and 2 formerly contained public housing units similar to those on proposed Lots 3 and 4, however, the units were demolished between 1997 and 2002. The existing Josephine Allen public housing units (298 dwelling units in 55 buildings) on proposed Lots 3 and 4 will remain with no significant changes: these buildings will be renovated. A similar application was approved by the Planning Commission at its June 4, 2009 meeting – this application differs from the previous application in that an additional lot is proposed to accommodate a portion of the existing developed site that will require a flood study prior to the issuance of any permits for renovation to the existing buildings within the proposed lot.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. **PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.**

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The existing site is partially developed and zoned R-3, Multi-Family Residential. To the East of the site are businesses located in R-1, Single Family, and I-1, Light Industrial districts. South of

the site are residences and businesses located in R-2, Two-Family and I-2, Heavy Industrial districts. West and North of the site are residences in an R-2 district.

The site has frontage onto multiple minor public and private streets. The right-of-way for Dr. Thomas Avenue North (a public street), where it is West of Reddy Street, is below the minimum 50-foot width required by the Subdivision Regulations, thus dedication necessary to provide sufficient right-of-way will be required, and is depicted on both the site plan and preliminary plat. As pointed out in the Engineering comments, corner radii dedications will also be required, and are depicted. All other streets have adequate right-of-ways.

The 14 proposed dwelling units on Lot 1 will be built as duplex structures. Each unit will have a curb-cut onto Dr. Thomas Avenue Drive North. The applicant should ensure adequate off-street parking for 21 vehicles, and the existing parking lot that will remain, located at the corner of Reddy Street and Herman Drive, should result in adequate parking.

As 4 of the proposed dwelling units will be designed to meet Americans with Disabilities Act accessibility requirements, the applicant should ensure that the driveways are of sufficient length to prevent vehicles from overhanging into the right-of-way or public sidewalks. The size, design and location of any new curb-cuts shall be approved by Traffic Engineering and conform with AASHTO standards.

As Lot 1 is zoned R-3, full compliance with the tree and landscape requirements of the Zoning Ordinance will be required, however, the site plan lacks sufficient information for staff to determine if the requirements are fulfilled. Existing trees are depicted on the site plan, and Urban Forestry has requested the protection of several of the existing trees. The applicant states that full compliance will be depicted on any plans submitted for the permitting process.

A 9,400 square foot cultural arts center is proposed for Lot 2. A parking lot containing 34 spaces is also proposed, as is a storm water detention facility. If a parking ratio of 1 space for 300 square feet of gross floor area is used, adequate parking will be provided on site. The parking lot will have an entrance onto Dr. Thomas Avenue North and onto Herman Drive (private street). Traffic Engineering has requested that the drive to Dr. Thomas Avenue be moved Westward, away from where Stimrad Road intersects with Dr. Thomas Avenue North: a revised PUD site plan will be required prior to the signing of the final plat, if approved. The dumpster depicted for the cultural arts center is located within the required setback, thus it should be moved to be outside of any required building setback. Existing on-street parking will be modified, but will remain.

As the cultural arts center site is zoned R-3, full compliance with the tree and landscape requirements of the Zoning Ordinance will be required. The applicant states that full compliance will be depicted on any plans submitted for the permitting process.

Regarding the existing development, the common lot line between proposed Lots 3 and 4 may result in existing buildings being less than 8 feet from the lot line: as this is a PUD, reduced setbacks are allowable, however, setbacks must meet any requirements of the applicable Building or Fire Codes. The actual minimum setbacks between the buildings and the Lot 3 and 4 common lot lines should be labeled on the site plan.

Regarding curb-cuts, Lots 1, 2, 3 and 4 should be limited to an approved Planned Unit Development. As previously mentioned, Traffic Engineering is requesting that a proposed curb-cut for the cultural arts center on Lot 2 be moved to reduce potential conflicts at an existing street intersection.

New sidewalks are depicted on the PUD site plan where new development is proposed. As the new residences will include accessible units, the applicant should ensure that continuous sidewalks are provided along all public and private street frontages where new development is proposed, and that the existing recreation center and proposed cultural arts center are accessible via sidewalk by the mobility challenged.

The site plan includes notes regarding trees planted near overhead powerlines as well as notes regarding garbage service and dumpsters.

Building setback lines are depicted on the site plan and plat for Lots 1 and 2, but not for Lots 3 and 4. Building setback lines of at least 25-feet should be depicted for Lots 3 and 4 where they abut public streets: the setbacks will only affect new construction. Also, the narrative included with the PUD application indicates a setback of 25-feet for the cultural arts center site on Lot 2, yet the site plan and plat depict a 30-foot setback.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

It appears that most of the new development will occur outside of the flood zones associated with Three Mile Creek and the Mobile River, however the applicant should ensure that development complies with all applicable federal, state and local regulations relating to floodplain development, prior to the issuance of any permits or land disturbance activities.

RECOMMENDATION

Subdivision: As revised, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Revision to depict compliance with Engineering comments (*A flood study is required to establish a base flood elevation in flood zone "A". Show Minimum Finished Floor Elevation on Plat for each lot. There is to be no fill placed within the limits of the flood plain without providing compensation. A drainage easement will be required for any structure carrying public water, width and alignment of such easements to be coordinated with City Engineer. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.*);
- 2) Placement of Urban Forestry comments as a note on the plat, and compliance thereof (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 50" Live Oak Tree, 35" Live Oak Tree, 40" Live Oak Tree, and the 36" Live Oak Tree located on Lot 1. Any work on or under theses trees is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger. Note*

that the 55" and 60" Live Oak Trees will require tree removal permits from Urban Forestry if removal is requested, but due to their condition, preservation status is not advised.);

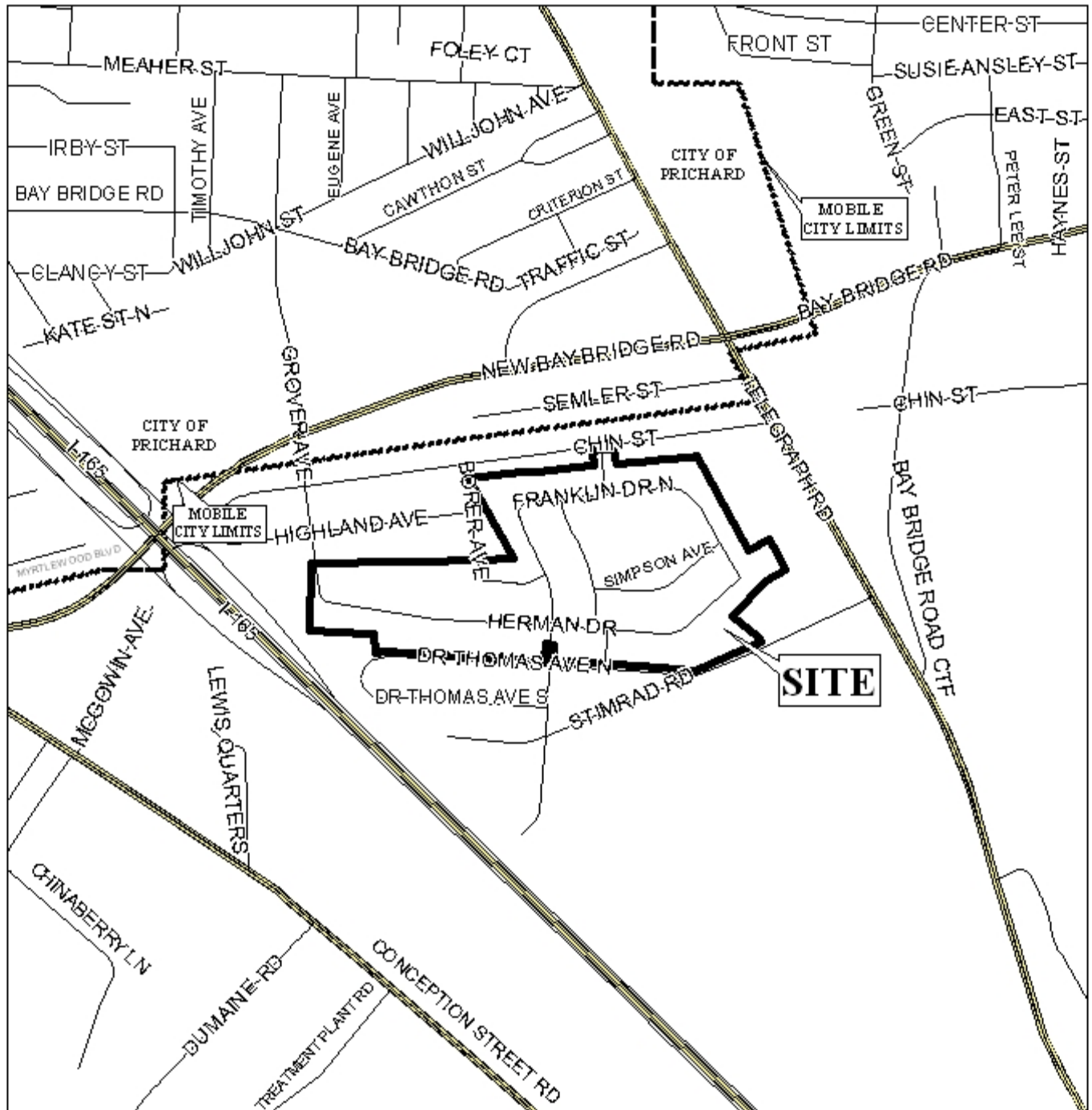
- 3) Compliance with Traffic Engineering comments (*Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. Move driveway access on Dr. Thomas Avenue to the west end of the parking lot to avoid conflicts with the Stimrad Road intersection;*);
- 4) Depiction and labeling of a minimum 25-foot building setback line for Lots 3 and 4, where they abut public streets;
- 5) Placement of a note on the final plat stating that curb-cuts for Lots 1, 2, 3 and 4 are limited to an approved Planned Unit Development;
- 6) Placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, prior to the issuance of any permits or land disturbance activities;
- 7) Development to comply with all applicable federal, state and local regulations relating to floodplain development;
- 8) Submittal of a revised PUD site plan prior to the signing of the final plat; and
- 9) Completion of the Subdivision process prior to any request for land disturbance or building permits.

Planned Unit Development: As revised, the application is recommended for Approval, subject to the following conditions:

- 1) Revision to depict compliance with Engineering comments (*A flood study is required to establish a base flood elevation in flood zone "A". Show Minimum Finished Floor Elevation on Plat for each lot. There is to be no fill placed within the limits of the flood plain without providing compensation. A drainage easement will be required for any structure carrying public water, width and alignment of such easements to be coordinated with City Engineer. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.);*
- 2) Placement of Urban Forestry comments as a note on the site plan, and compliance thereof (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 50" Live Oak Tree, 35" Live Oak Tree, 40" Live Oak Tree, and the 36" Live Oak Tree located on Lot 1. Any work on or under these trees is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger. Note that the 55" and 60" Live Oak Trees will require tree removal permits from Urban Forestry if removal is requested, but due to their condition, preservation status is not advised.);*
- 3) Compliance with Traffic Engineering comments (*Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. Move driveway access on Dr. Thomas Avenue to the west end of the parking lot to avoid conflicts with the Stimrad Road intersection;*);
- 4) Compliance with Fire Department comments (*All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate. Specific compliance with Section 508.5.1 – Fire Hydrants, and Appendices C and D – Fire Hydrant Spacing and Access.);*

- 5) Revision of the site plan to depict a new location for the dumpster for the cultural arts center on Lot 2, so that the dumpster is not within any required building setback;
- 6) Depiction and labeling of a minimum 25-foot building setback line for Lots 3 and 4, where they abut public streets;
- 7) Labeling of the actual setback from the common lot line of Lots 3 and 4 for any building located less than 8-feet from the common lot line;
- 8) Site plans depicting full compliance with the tree and landscaping requirements of the Zoning Ordinance for proposed Lots 1 and 2, including calculations for landscape areas and required PUD common open space for development on Lot 1, to be submitted with any application for land disturbance or building permits for each respective lot;
- 9) Placement of a note on the site plan stating that curb-cuts for Lots 1, 2, 3 and 4 are limited to an approved Planned Unit Development;
- 10) Placement of a note on the site plan stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, prior to the issuance of any permits or land disturbance activities;
- 11) Development to comply with all applicable federal, state and local regulations relating to floodplain development;
- 12) Submission of a revised PUD site plan prior to the signing of the final plat;
- 13) Completion of the Subdivision process prior to any request for land disturbance or building permits; and
- 14) Full compliance with all other municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 7 & 8 DATE September 16, 2010

APPLICANT Josephine Allen Subdivision

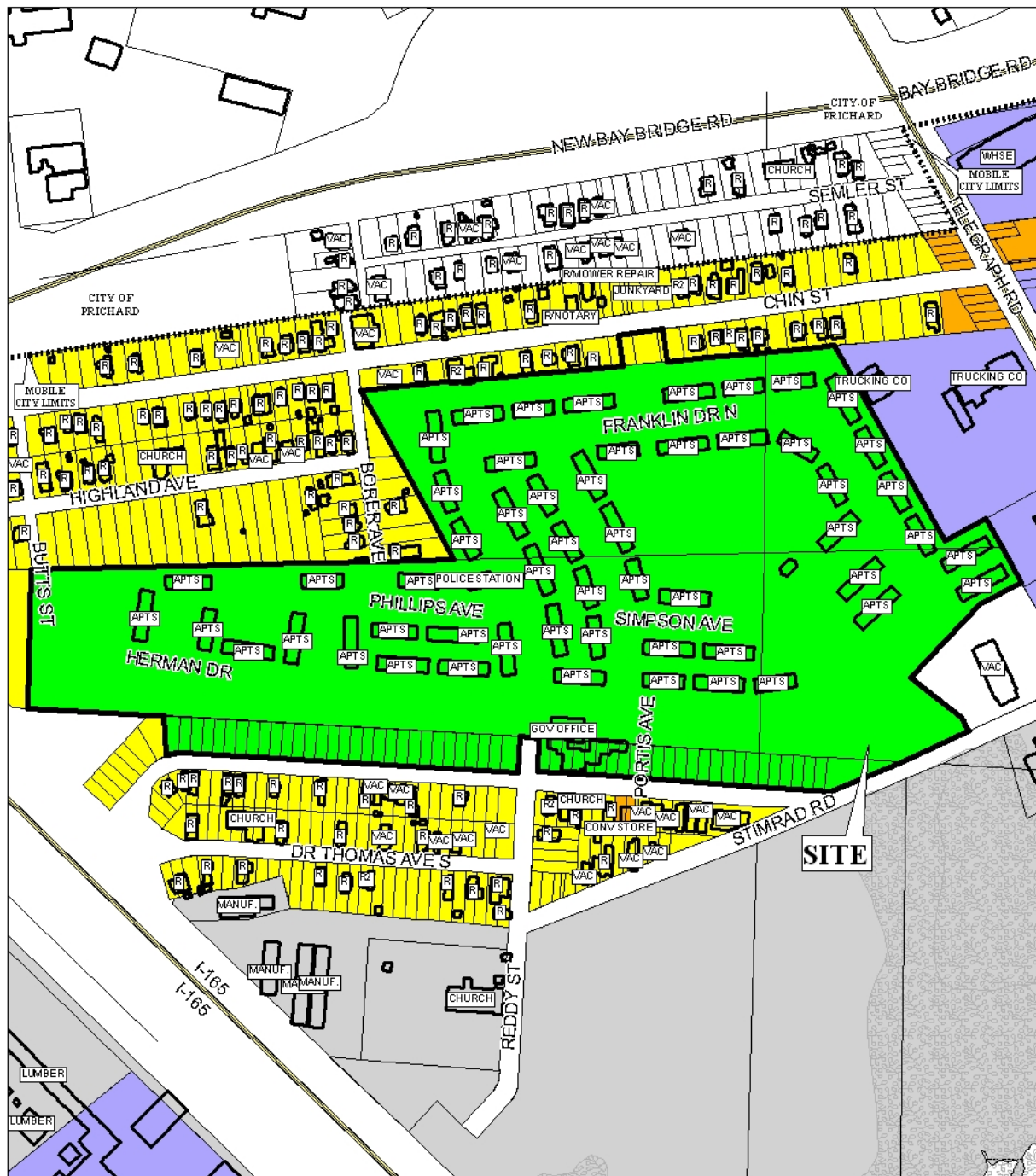
REQUEST Subdivision, Planned Unit Development

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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residences and other miscellaneous land use.

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REQUEST Subdivision, Planned Unit Development

LEGEND



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residences and other miscellaneous land use.

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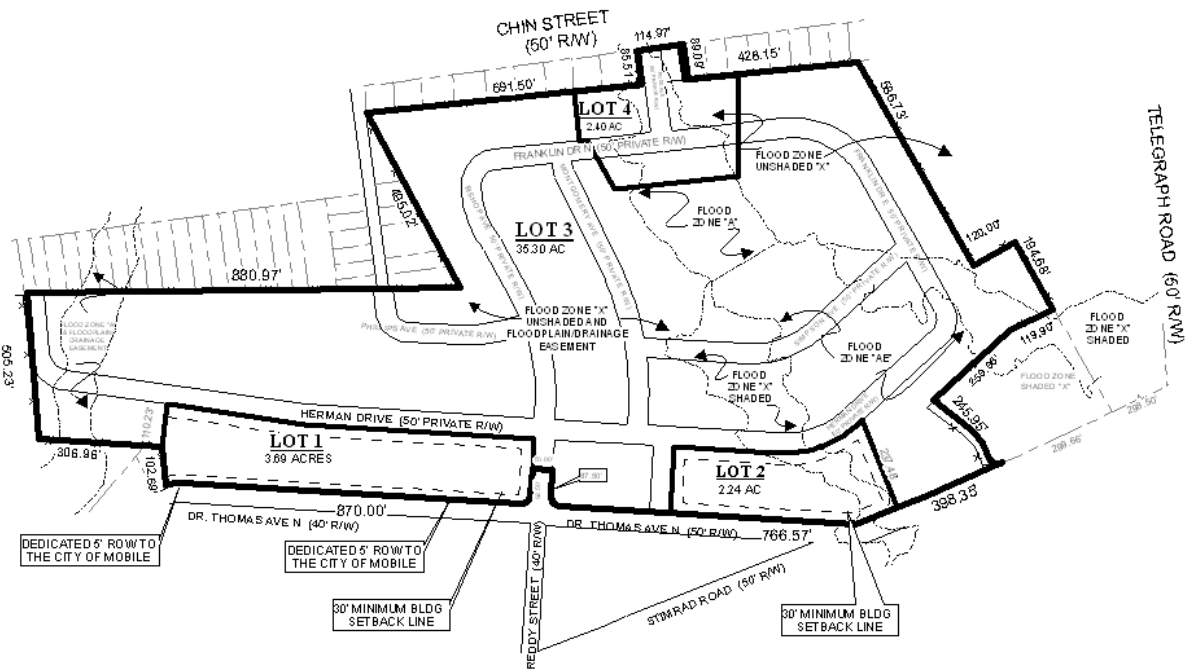
APPLICANT Josephine Allen Subdivision

REQUEST Subdivision, Planned Unit Development



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SUBDIVISION DETAIL



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APPLICANT Josephine Allen Subdivision

REQUEST Subdivision, Planned Unit Development



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