

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: May 19, 2011****DEVELOPMENT NAME**

Maryland &amp; Franklin Subdivision

**SUBDIVISION NAME**

Maryland &amp; Franklin Subdivision

**LOCATION**

211 South Franklin Street  
(East side of Franklin Street, 155'± North of Virginia Street  
and extending East to South Conception Street)

**CITY COUNCIL  
DISTRICT**

District 2

**AREA OF PROPERTY**

3 Lots / 1.8 acres ±

**CONTEMPLATED USE**

Planned Unit Development Approval to allow shared  
access between three building sites, and Subdivision approval to create 3 lots.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Immediate.

**ENGINEERING****COMMENTS**

Show Minimum Finished Floor Elevation on each lot on  
Plat. There is to be no fill placed within the limits of the flood plain without providing  
compensation. Must comply with all storm water and flood control ordinances. Any work  
performed in the right of way will require a right of way permit in addition to any required land  
disturbance permit. Drainage from any dumpster pads cannot discharge to storm sewer; must  
have connection to sanitary sewer.

**TRAFFIC ENGINEERING****COMMENTS**

Driveway number, size, location, and design to be  
approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local  
laws that pertain to tree preservation and protection on both city and private properties (State Act  
61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All projects within the City of Mobile Fire Jurisdiction  
must comply with the requirements of the 2009 International Fire Code, as adopted by the City  
of Mobile.

**REMARKS**

The applicant is seeking Planned Unit Development Approval to allow shared access between three building sites, and Subdivision approval to create 3 lots from an existing metes and bounds parcel. The site is located in Council District 2, and according to the applicant is served by public water and sanitary sewer.

The purpose of this application is to create three lots from an existing metes and bounds parcel, and keep shared access between the proposed lots via the vacated Maryland Street right-of-way.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The three proposed lots, as depicted, meet the minimum size and frontage requirements as regulated by the Subdivision Regulations. The lot area sizes are depicted on the plat in square feet, and this should be retained on the Final Plat, if approved. The proposed Lots 1 and 3 front South Franklin Street, a minor street provided with curb and gutter. The right-of-way for South Franklin Street is depicted with an adequate 50 feet. The proposed Lot 2 fronts South Conception Street, a minor street provided with curb and gutter. South Conception Street is depicted with an adequate right-of-way of 64 feet. As such, no further dedications should be required.

All of the proposed lots, based on the PUD site plan will have access via the vacated Maryland Street right-of-way. As such, all three lots should be limited to one shared curb cut to South Franklin Street and one shared curb cut to South Conception Street, with the size, design, and exact location of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards.

The site is zoned I-1, Light Industry District, and the proposed Lot 1 and Lot 3 are currently developed. The PUD site plan does not indicate parking calculations, parking areas, dumpster locations (if any), trees, fencing, or any landscaping the site. As such, it is impossible to evaluate the PUD request until a proper site plan showing all site improvements and features, as well as parking calculations and parking areas, is submitted.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-

game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

The entire site appears to be located within the flood zone as depicted on FEMA maps for the Mobile River and Mobile Bay, and the site may also be subject to hurricane storm surges. The presence of floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

## **RECOMMENDATION**

**Subdivision:** Based upon the preceding, this application is recommended for Holdover until the June 16, 2011, meeting, with revisions due to the Planning Section by June 3, 2011, so that the applicant can submit additional information for the PUD application.

**Planned Unit Development:** Based upon the preceding, this application is recommended for Holdover until the June 16, 2011, meeting, with revisions due to the Planning Section by June 3, 2011, so that the applicant can address the following:

- 1) submit an accurate site plan illustrating all site improvements and features (dumpster locations (if any), trees, fencing, or any landscaping the site), as well as parking calculations and parking areas.

### ***Revised for the June 2, 2011, meeting***

*The applicant provided a revised PUD site plan, however, after further meetings and discussions with the applicant, it was determined that the provided site plan was not adequate for the applicant's needs. As such, the applicant has requested a holdover to the June 16, 2011, meeting in order for them to develop a site plan that incorporates all of their needs on the site.*

## **RECOMMENDATION**

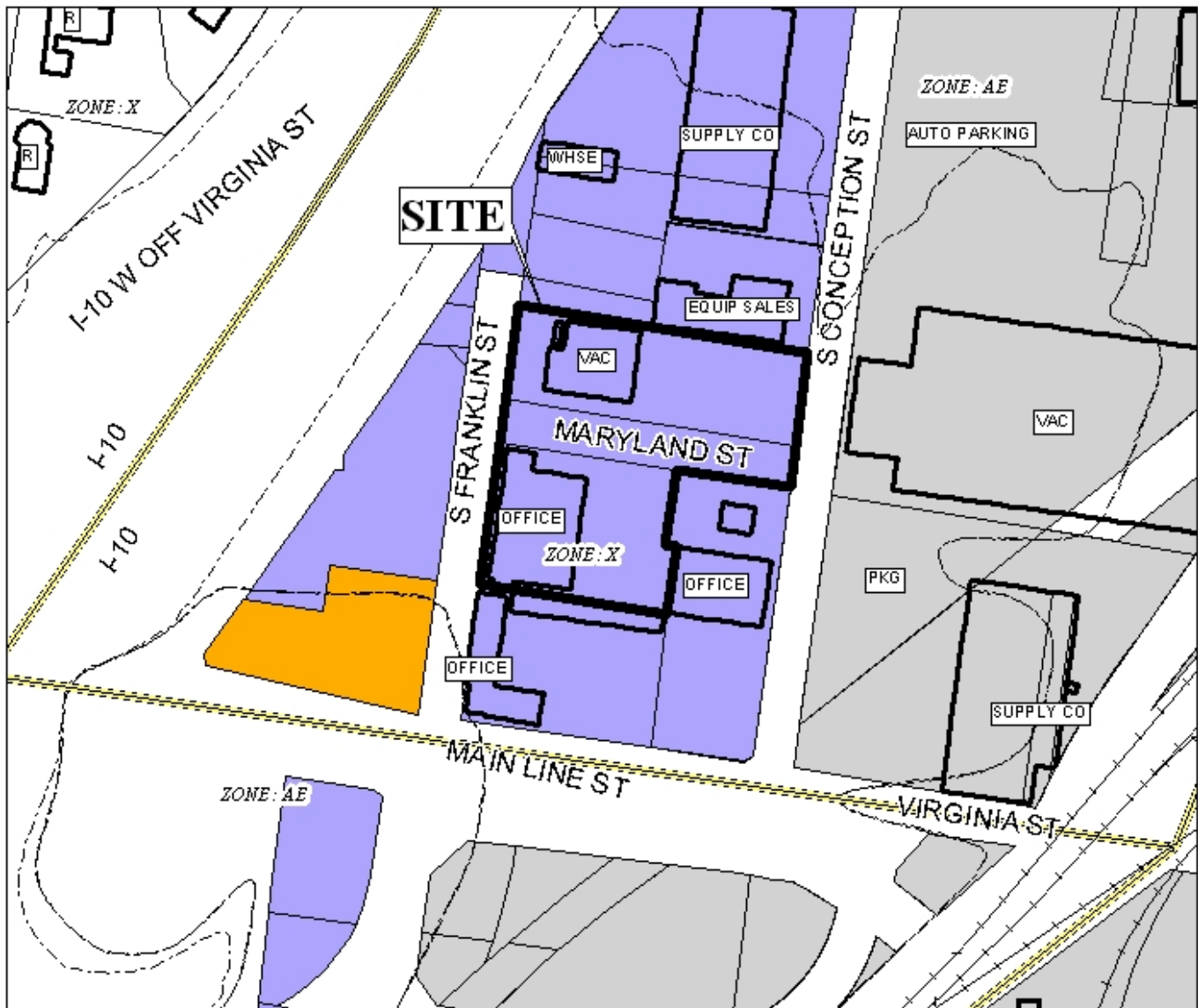
**Subdivision:** *Based upon the preceding, this application is recommended for Holdover until the June 16, 2011, meeting, as requested by the applicant, with any revisions due to the Planning Section by June 8, 2011.*

**Planned Unit Development:** *Based upon the preceding, this application is recommended for Holdover until the June 16, 2011, meeting, as requested by the applicant, with any revisions due to the Planning Section by June 8, 2011.*

APPLICANT Maryland & Franklin Subdivision

N  
NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial land use. Single family residential units exist across Virginia Street to the northwest.

APPLICATION NUMBER 7 & 8 DATE June 2, 2011

APPLICANT Maryland & Franklin Subdivision

REQUEST Subdivision, Planned Unit Development

LEGEND 

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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 NTS



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

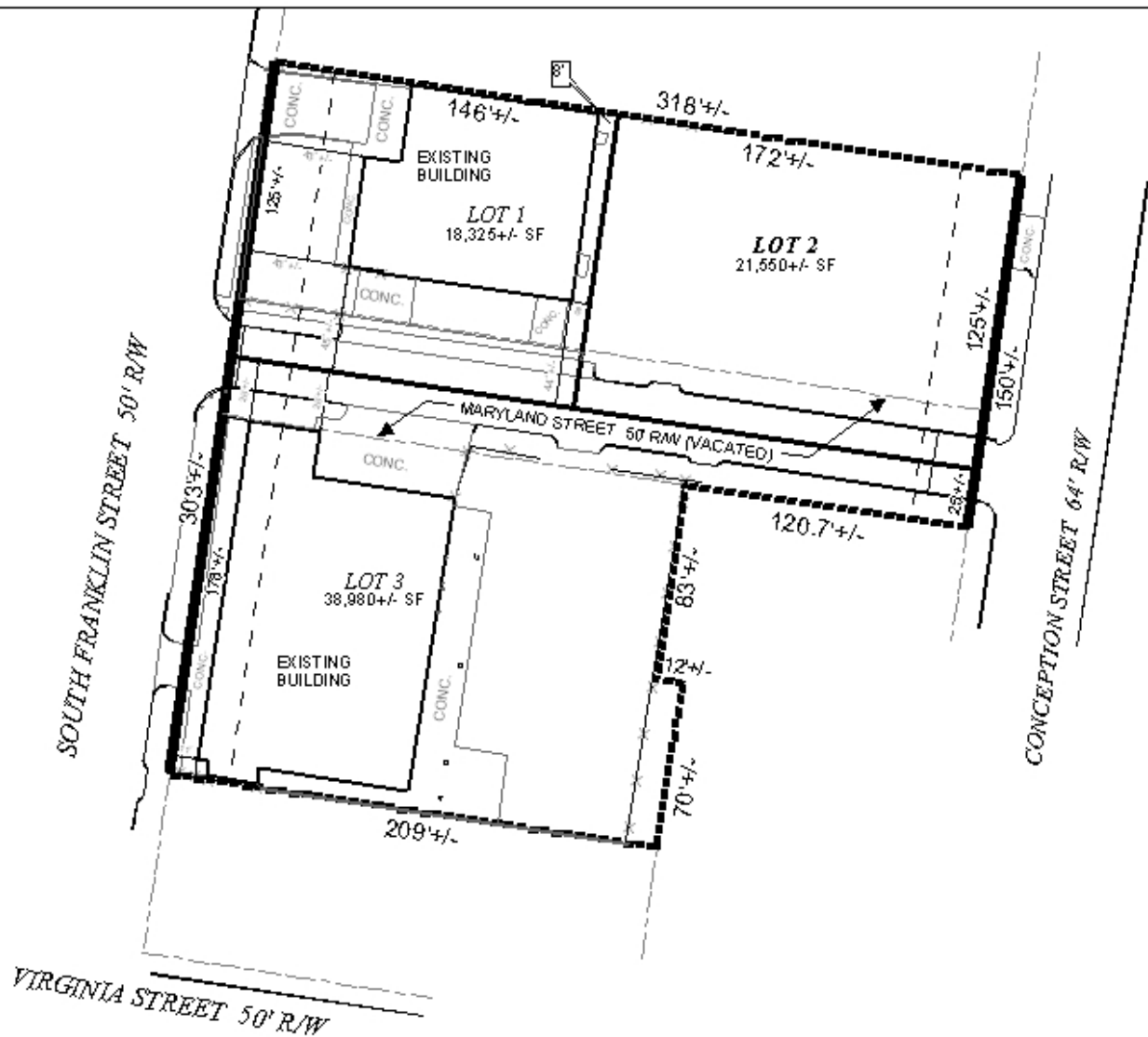


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N  
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# SITE PLAN



The site plan illustrates the lot configuration, existing buildings and curb cuts.

APPLICATION NUMBER 7 & 8 DATE June 2, 2011

APPLICANT Maryland & Franklin Subdivision

REQUEST Subdivision, Planned Unit Development

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↑  
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NTS