

## **WILROH ESTATES SUBDIVISION**

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- B. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 18 - #75) the Lot(s) will receive the following historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control), as follows: LOT 1 – 1,400 sf; LOT 2 –none.
- C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- D. Provide and label the monument set or found at each subdivision corner.
- E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- F. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- G. Remove the County Engineer's signature block from the Plat. The County Engineer no longer signs plats within the municipal limits of the City of Mobile.
- H. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

MAWWS Comments: No comments.

The plat illustrates the proposed 2 lot, 0.4 ± acre subdivision which is located on the Southeast corner of Old Shell Road and Wilroh Drive East, and is in Council District 7. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create 2 legal lots of record from a metes-and-bounds parcel.

The proposed Lot 1 fronts Old Shell Road, a planned major street with a right-of-way of 120 feet. The plat illustrates that the right-of-way width of Old Shell Road varies. The Major Street Plan calls for a 100-foot right-of-way along this portion, and all acquisitions for widening of Old Shell Road have already been obtained from the North side. Therefore, dedication of additional right-of-way along Old Shell Road will not be required. Lots 1 and 2 have frontage along Wilroh Drive East, a minor street without curb and gutter. The Subdivision Regulations require a 60-foot right-of-way width for streets without curb-and-gutter. However, the site is within the city limits and staff is of the opinion that the road will eventually become improved and brought up to city standards. Therefore, dedication to provide 25-feet from centerline of Wilroh Drive East, along with the provision of a corner radius at the intersection of Wilroh Drive East and Old Shell Road in compliance with Section V.D.6. of the Subdivision Regulations should be required. A waiver of Section V.B.14. of the Subdivision Regulations will be required for approval since dedication will consist of 25-feet as measured from centerline, instead of the required 30-feet.

The proposed Lot 1 is developed with a residence and with one existing curb-cut to Wilroh Drive East. Direct access to Old Shell Road for Lot 1 should be denied. If approved, a note should be placed on the Final Plat stating each lot is limited to one curb-cut to Wilroh Drive East with the size, design, and exact location to be approved by Traffic Engineering.

The minimum building setback lines are depicted on the plat. The plat depicts Lot 1 as having a 20-foot minimum building setback along Wilroh Drive East. It should be noted, the Zoning Ordinance allows a 20-foot minimum building setback as indicated in Section 64-4.D.3. and based upon the assumption that all future development of Lot 1 would use Old Shell Road as its primary frontage. However, the Subdivision Regulations require a 25-foot minimum building setback line. Therefore staff is requesting a 25-foot minimum building setback along Wilroh Drive West for Lots 1 and 2 to ensure that any future development of the site will comply with the Subdivision Regulations. Revisions along Wilroh Drive East due to dedication should be made and the illustration of a new 25-foot minimum building setback line should be depicted on the Final Plat.

The lot sizes are provided in square feet, but not in acres. If approved, the lot sizes in square feet and acres should be indicated on the Final Plat, or there should be the provision of a table on the plat depicting the same information.

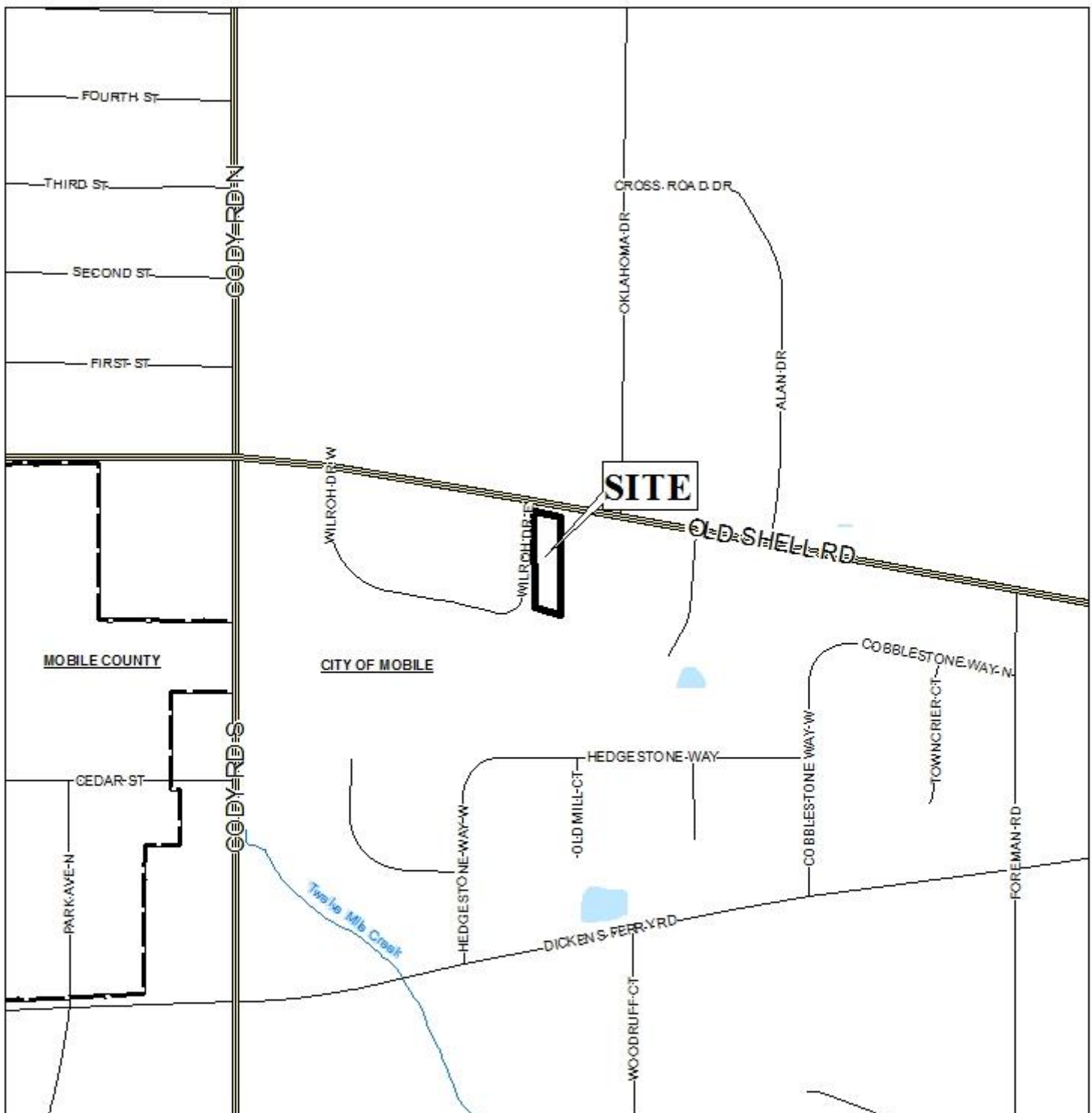
It should be pointed out that the labeling of the street Wilroh Drive is depicted incorrectly on the preliminary plat. The plat depict the street name as Wilroh Drive West, however the site is located at the corner of Old Shell Road and Wilroh Drive East. The plat should be revised to depict the correct labeling of Wilroh Drive East.

With a waiver of Section V.B.14. of the Subdivision Regulations, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the plat to depict the minimum right-of-way width of Old Shell Road;

- 2) revision of the plat to include dedication along Wilroh Drive East to provide 25' from centerline;
- 3) revision of the 25' minimum building setback line to reflect dedication along Wilroh Drive East;
- 4) revision of the plat to depict the correct labeling of Wilroh Drive East;
- 5) revision of the plat to include the lot sizes in square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 6) revision of the plat to depict a corner radius at the intersection of Wilroh Drive East and Old Shell Road in compliance with Section V.D.6. of the Subdivision Regulations;
- 7) placement of a note on the Final Plat stating that each lot is limited to one curb-cut to Wilroh Drive East, with the size, design, and exact location to be approved by Traffic Engineering;
- 8) compliance with Engineering comments: *"The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. B. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 18 - #75) the Lot(s) will receive the following historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control), as follows: LOT 1 – 1,400 sf; LOT 2 – none. C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. D. Provide and label the monument set or found at each subdivision corner. E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. F. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. G. Remove the County Engineer's signature block from the Plat. The County Engineer no longer signs plats within the municipal limits of the City of Mobile. H. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature."*;
- 9) compliance with Traffic Engineering comments: *"Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards."*;
- 10) compliance with Urban Forestry comments: *"Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).; and*
- 11) compliance with Fire comments: *"All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3."*

# LOCATOR MAP



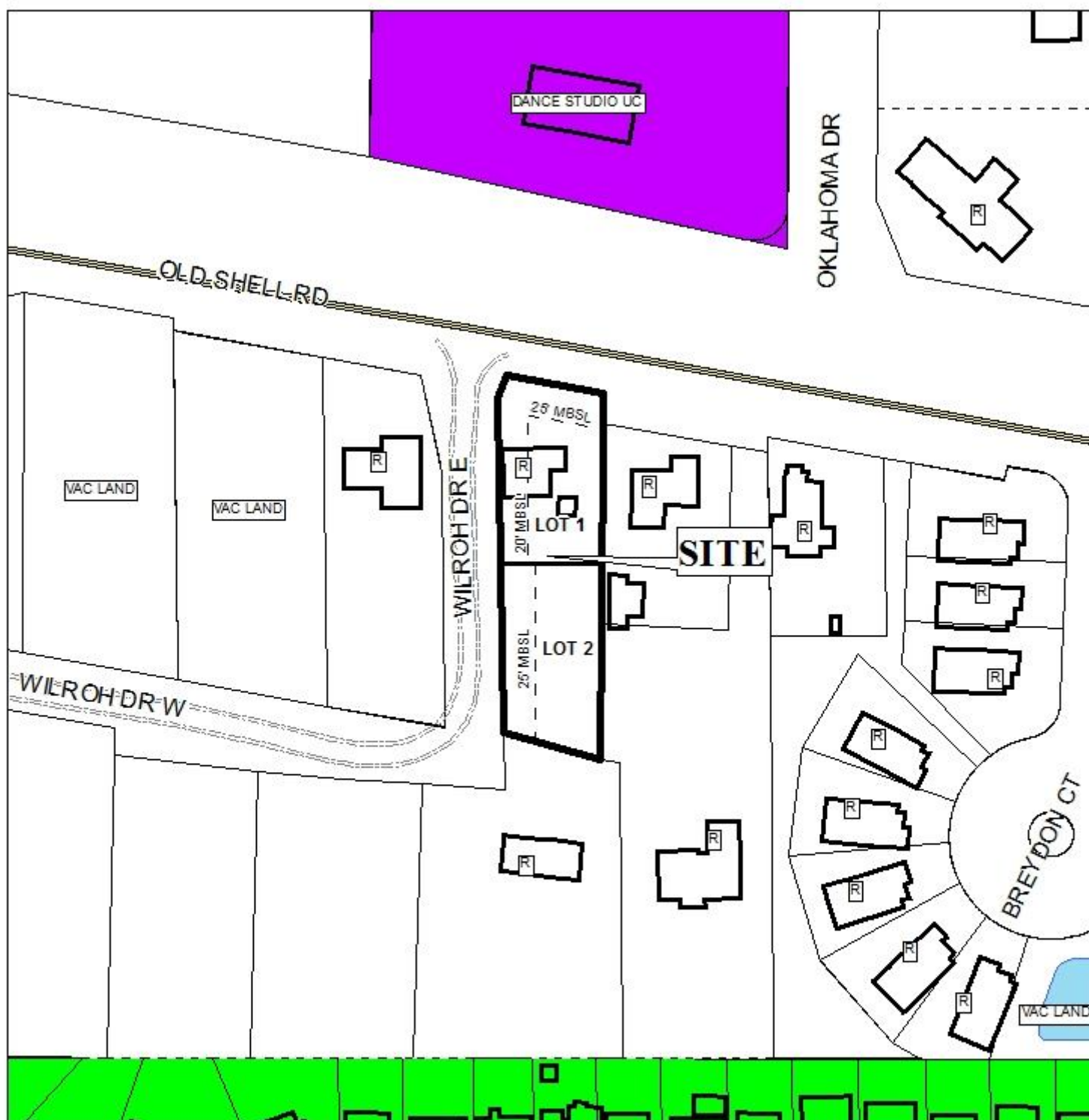
APPLICATION NUMBER 6 DATE February 5, 2015

APPLICANT Wilroh Estates Subdivision

REQUEST Subdivision



# WILROH ESTATES SUBDIVISION



APPLICATION NUMBER 6 DATE February 5, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





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