

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: January 18, 2018**

<u>DEVELOPMENT NAME</u>	Westwood Plaza Subdivision, Burton Addition to, Resubdivision of Lot B-R, Resubdivision of B and E
<u>SUBDIVISION NAME</u>	Westwood Plaza Subdivision, Burton Addition to, Resubdivision of Lot B-R, Resubdivision of B and E
<u>LOCATION</u>	7765 Airport Boulevard (Southeast corner of Airport Boulevard and Schillinger Road South, extending to the North side of Thomas Road)
<u>CITY COUNCIL DISTRICT</u>	District 6
<u>AREA OF PROPERTY</u>	2 Lots / 17.0± acres
<u>CONTEMPLATED USE</u>	Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow shared access and parking between multiple building sites; and Subdivision approval to create two legal lots of record.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	No time frame provided.
<u>ENGINEERING COMMENTS</u>	

Subdivision

FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors
- B. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- C. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.

- D. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process.
- E. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
- F. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL (with all other signatures) and one (1) copy (signatures not required) of the revised Final Plat to the Engineering Department.

Planned Unit Development

ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. Each Lot Owner shall be required to submit a Land Disturbance Permit application with the initial construction of a single family dwelling or other impervious surface (shed, driveway, slab, asphalt, gravel, etc.). The application shall include a site grading and drainage plan, details, and calculations, all of which are to be signed by a licensed Alabama Professional Engineer.
5. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.
6. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
7. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING**COMMENTS**

The site is limited to the number of driveways as illustrated by the approved Planned Unit Development for this site, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

MAWSS COMMENTS

MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until a Capacity application is approved by Volkert Engineering Inc.

REMARKS

The applicant is seeking Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow shared access and parking between multiple building sites, and Subdivision approval to create two lots. The site is located in Council District 6, and according to the applicant is served by public water and sanitary sewer. Please note that a Planned Unit Development approval by the Planning Commission expires after one year if no permits are obtained. However, as no site expansion or changes are proposed, this would be a moot point in this instance.

The purpose of this application is to simply separate a two-tenant building site from the over-all shopping center. A Subdivision is required for the property split, and a Planned Unit Development is required to amend the property boundary configuration of a previously-approved PUD. No expansion or improvements are proposed in the current PUD application.

The site has been given a District Center land use designation, per the recently adopted Future Land Use Plan and Map. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This designation applies across the city to larger areas of existing mixed-use character or where such character is encouraged. These areas will include moderate to high-density residential (minimum densities of 6 du/ac) in dynamic, horizontal or vertical mixed use environments, to provide a balance of housing and employment.

District Centers generally serve several surrounding neighborhoods and may even have a city-wide or region-wide reach. As such, they are often anchored by a major commercial or institutional employer such as a shopping mall or a medical center.

Depending on location and assigned zoning, residential areas in District Centers may incorporate a mix of housing types, ranging from mid-rise multifamily buildings containing apartments and lofts, to townhouses and detached single-family homes. Major civic cultural institutions and public spaces provide regional and neighborhood destinations.

District Centers should be designed to induce pedestrian activity, with high quality streetscapes connecting the different components of a center as well as the center to its surrounding area. DC districts may be served by transit and include development of an intensity and design that supports transit use.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is zoned B-3, General Business District, thus the existing development is allowed by right. The site abuts an R-3, Multi Family Residential District to the East, but is otherwise adjacent to other B-3 sites.

The applicant states:

It is the intent of Westwood Plaza, LLC to create a 2-lot subdivision from the existing lot "B-R" to subdivide a separate parcel/lot for the existing "Pad D" (Aspen Dental and Chipotle), the proposed lot is "Lot F".

The intent of the P.U.D. is to simply amend the previous PUD to reflect the new lot "F". This P.U.D. does not have any expansion or reconfiguration to the over-all site.

The site has frontage onto three streets. Airport Boulevard is a major street with an existing compliant 140' wide right-of-way. Schillinger Road South is a major street with an existing 80' to 100' right-of-way, and Thomas Road is a minor street with an existing compliant 50' right-of-way. Right-of-way issues along Schillinger Road South were addressed during previous Subdivision applications. Therefore, no street frontage dedication would be required.

The site has been before the Commission several times in the past for both Subdivision and PUD approvals. The most-recent Subdivision was approved in August, 2016, as Westwood Plaza Subdivision, Resubdivision of Lots B and E, Burton Addition to. That Subdivision created existing Lots B and E of which Lot B is now proposed to be subdivided into two lots. The existing PUD configuration was created in March, 2015, to amend the layout of one lot approved in a December, 2014, PUD. As the current Subdivision application would reconfigure internal property lines within the previously approved PUD, that PUD must be amended.

The name given to the current applications is the same as that approved by the August, 2016 Subdivision approval. Since only the current Lot B-R is being reconfigured, the name of the projects should be revised on the Final Plat and a revised PUD site plan. It should be noted that the legal description on the site plan submitted for the current PUD review is that of the recorded Westwood Plaza Subdivision, approved in July, 2013, and not the current legal description of the August, 2016 Subdivision approval. Therefore, the legal description should be corrected on a revised PUD site plan.

The current curb cuts approved with the 2015 PUD are retained and no new ones are proposed. No new parking is proposed and no changes to the parking lay-out or internal traffic flow are proposed. The site plan indicates the existing 5,860 square-foot two-tenant building in the Northwest corner of the shopping center which was originally approved as 6,500 square feet in the 2015 PUD. The submitted site plan is basically a copy of the site plan approved with the 2015 PUD, revised to indicate the proposed property boundaries.

No parking calculations were submitted with the PUD as were no landscaping or tree planting calculations. However, as the site was re-developed according to the 2015 PUD site plan, no new parking or landscaping and tree planting calculations would be required.

The site plan should be revised to indicate the existing required public sidewalk along Thomas Road. As waivers were granted at the May 1, 2014, Commission meeting, sidewalks are not required along Schillinger Road South or Airport Boulevard.

As on both the preliminary plat and the PUD site plan, the 25' to 35' (where dedication was not required) minimum building setback line should be retained on the Final Plat and revised PUD

site plan. The preliminary plat labels each proposed lot with its size in both square feet and acres and should be retained on the Final Plat, or a table should be furnished on the Final Plat providing the same information. The PUD site plan, however, only labels proposed Lot F with its size. Therefore, the site plan should be revised to also label proposed Lot G with its size in both square feet and acres, or a table should be furnished on a revised site plan providing the same information.

A revised PUD site plan should be submitted to and approved by Planning and Zoning prior to signing the Final Plat for the Subdivision.

RECOMMENDATION

Subdivision: Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) correction of the Subdivision name to be for existing Lot B-R only;
- 2) retention of the 25' to 35' minimum building setback line along all street frontages;
- 3) retention of the lot size labels in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 4) compliance with the Engineering comments: *[FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. C. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. D. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process. E. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing. F. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL (with all other signatures) and one (1) copy (signatures not required) of the revised Final Plat to the Engineering Department.];*
- 5) compliance with the Traffic Engineering comments: *(The site is limited to the number of driveways as illustrated by the approved Planned Unit Development for this site, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 6) compliance with the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64)];*

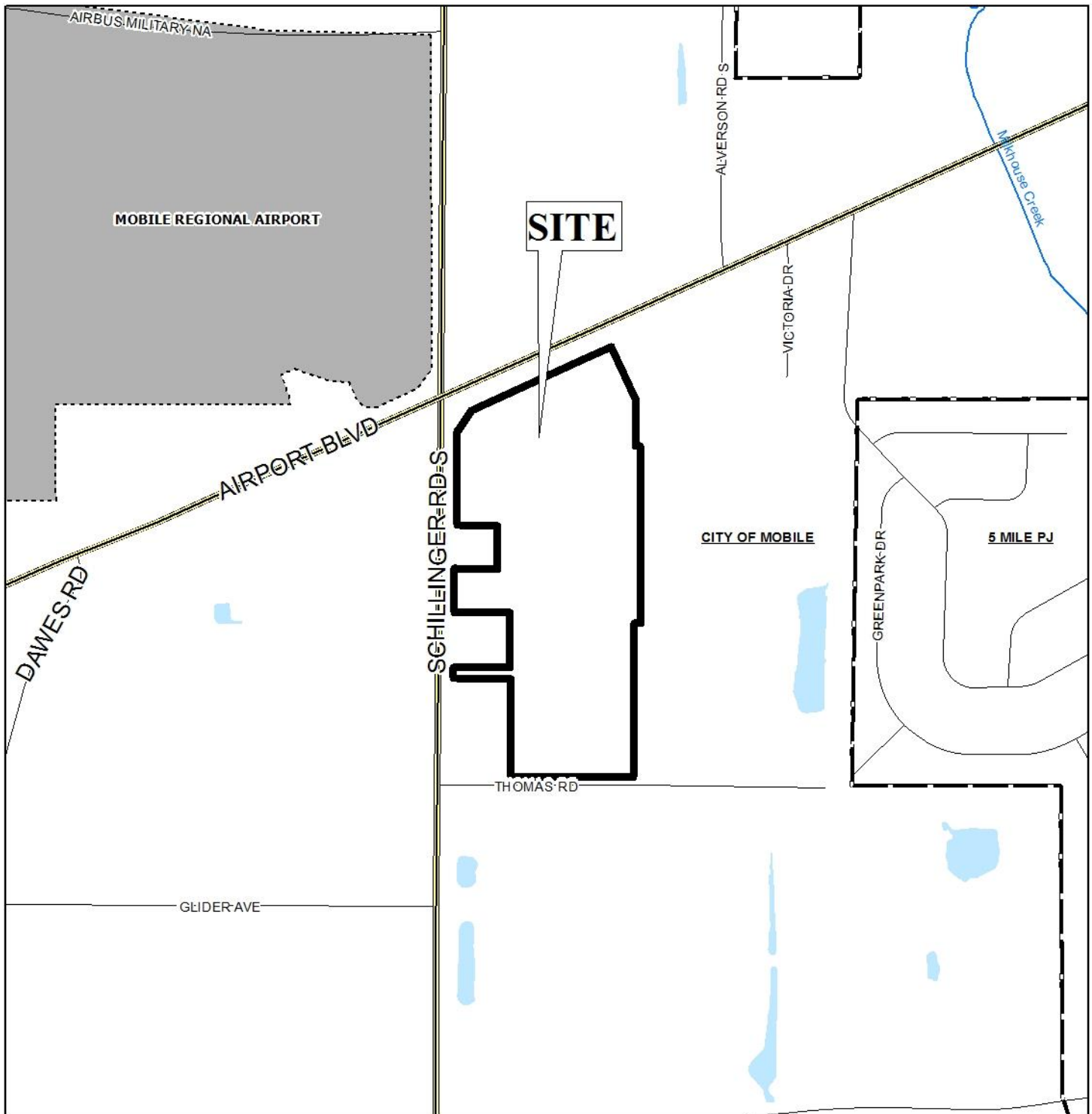
- 7) compliance with the Fire Department comments: *[All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).]*;
- 8) submission to and approval by Planning and Zoning of two (2) copies of a revised PUD site plan prior to signing the Final Plat.

Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) correction of the PUD name to be for existing Lot B-R only;
- 2) correction of the legal description to be that of the current Westwood Plaza Subdivision, Resubdivision of Lots B and E, Burton Addition to, as per the 2016 approval;
- 3) revision of the site plan to indicate the existing required public sidewalk along Thomas Road;
- 4) retention of the 25' to 35' minimum building setback line along all street frontages;
- 5) revision of the site plan to also label proposed Lot G with its size in both square feet and acres, or the furnishing of a table on the site plan providing the same information for both Lots G and F;
- 6) compliance with the Engineering comments: *[ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. Each Lot Owner shall be required to submit a Land Disturbance Permit application with the initial construction of a single family dwelling or other impervious surface (shed, driveway, slab, asphalt, gravel, etc.). The application shall include a site grading and drainage plan, details, and calculations, all of which are to be signed by a licensed Alabama Professional Engineer. 5. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy. 6. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of*

- the necessary permits and approvals. 7. The proposed development must comply with all Engineering Department design requirements and Policy Letters.];*
- 7) compliance with the Traffic Engineering comments: *(The site is limited to the number of driveways as illustrated by the approved Planned Unit Development for this site, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
 - 8) compliance with the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64)];*
 - 9) compliance with the Fire Department comments: *[All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).]; and*
 - 10) submission to and approval by Planning and Zoning of two (2) copies of a revised PUD site plan prior to signing the Final Plat for the Subdivision.

LOCATOR MAP



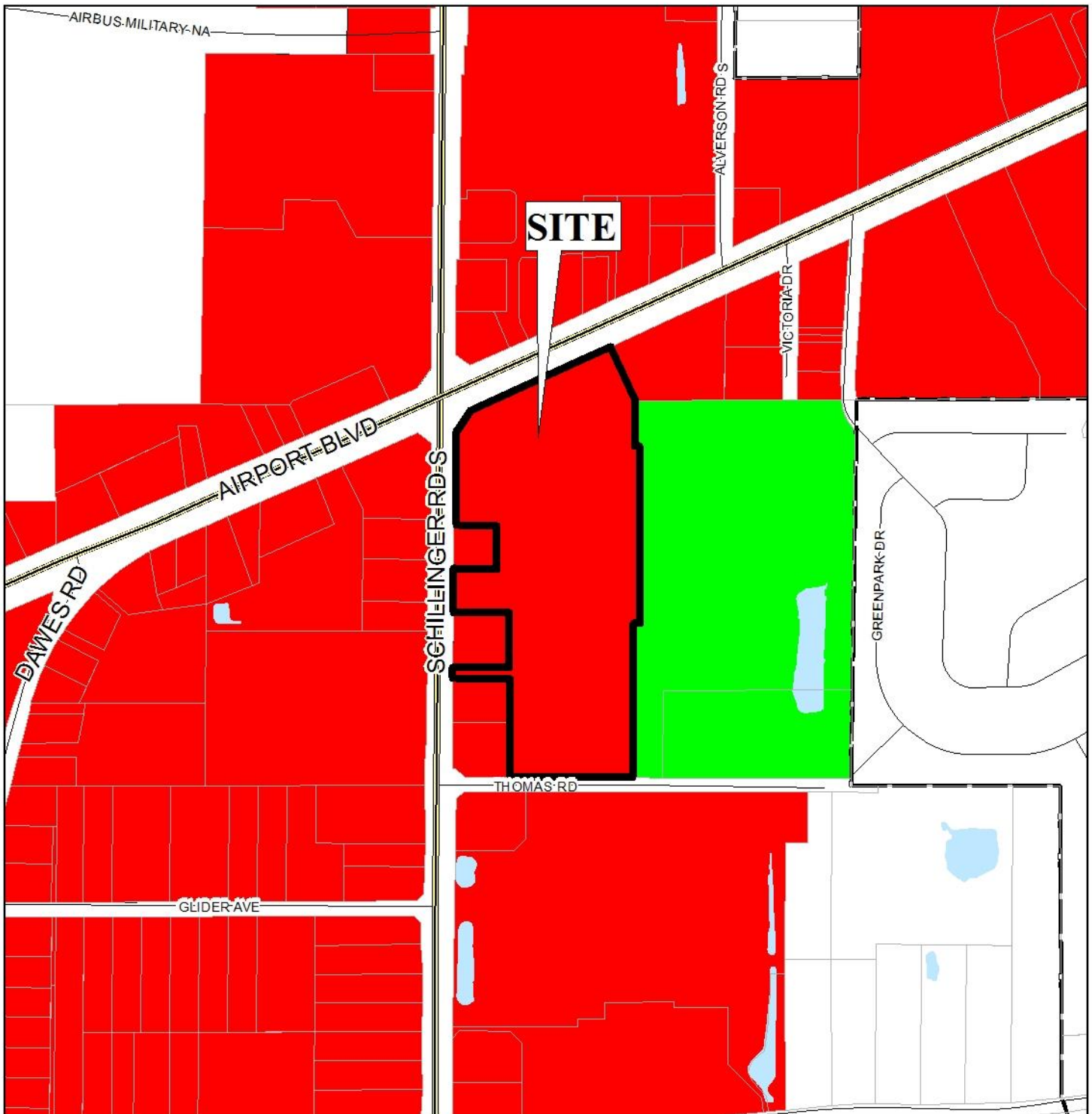
APPLICATION NUMBER 6 DATE January 18, 2018

APPLICANT Westwood Plaza Subdivision, Burton Addition to,
Resubdivision of Lot B-R, Resubdivision of B and E

REQUEST Subdivision, Planned Unit Development



LOCATOR ZONING MAP



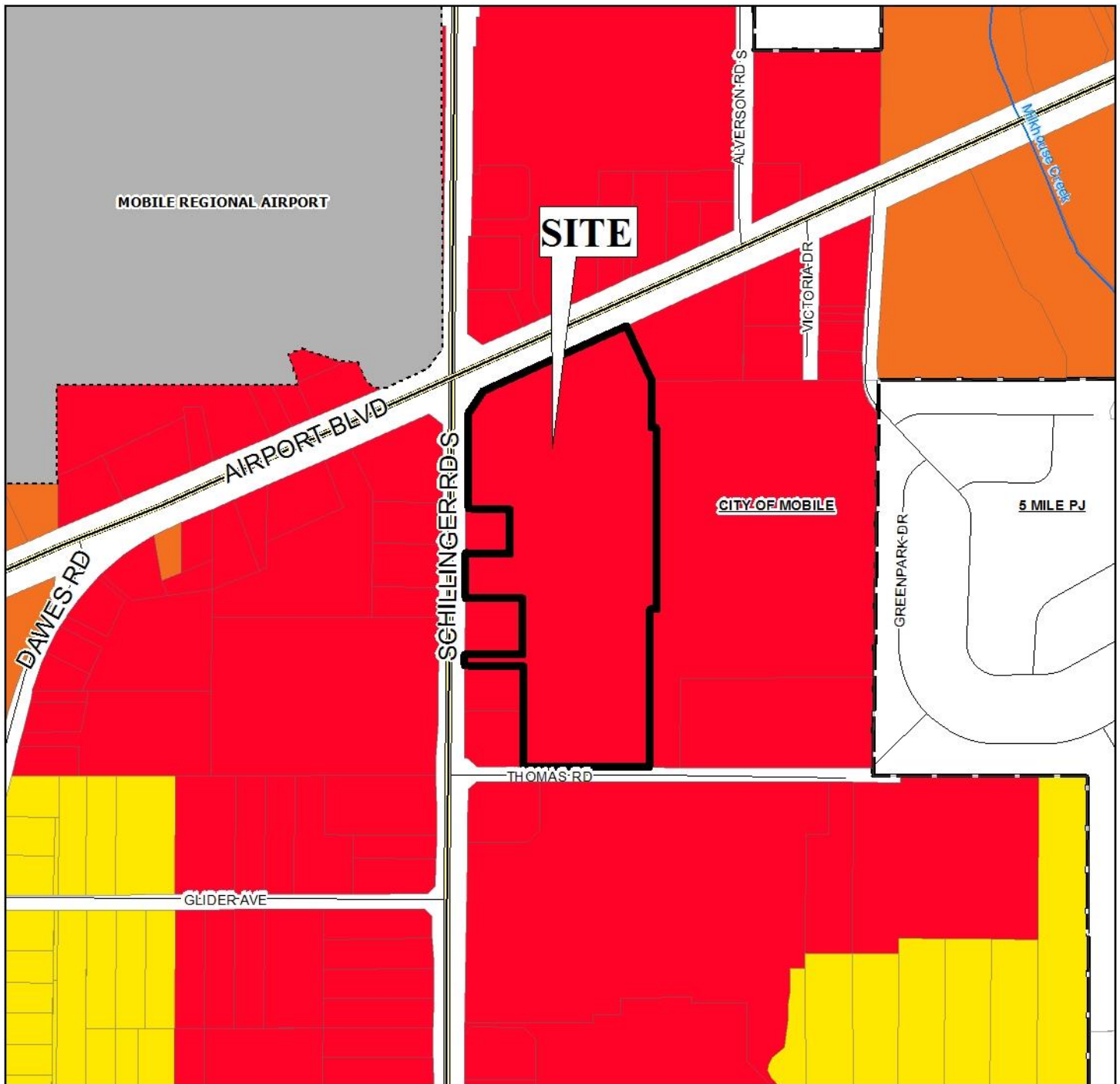
APPLICATION NUMBER 6 DATE January 18, 2018

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Resubdivision of Lot B-R, Resubdivision of B and E

REQUEST Subdivision, Planned Unit Development



FLUM LOCATOR MAP



APPLICATION NUMBER 6 DATE January 18, 2018

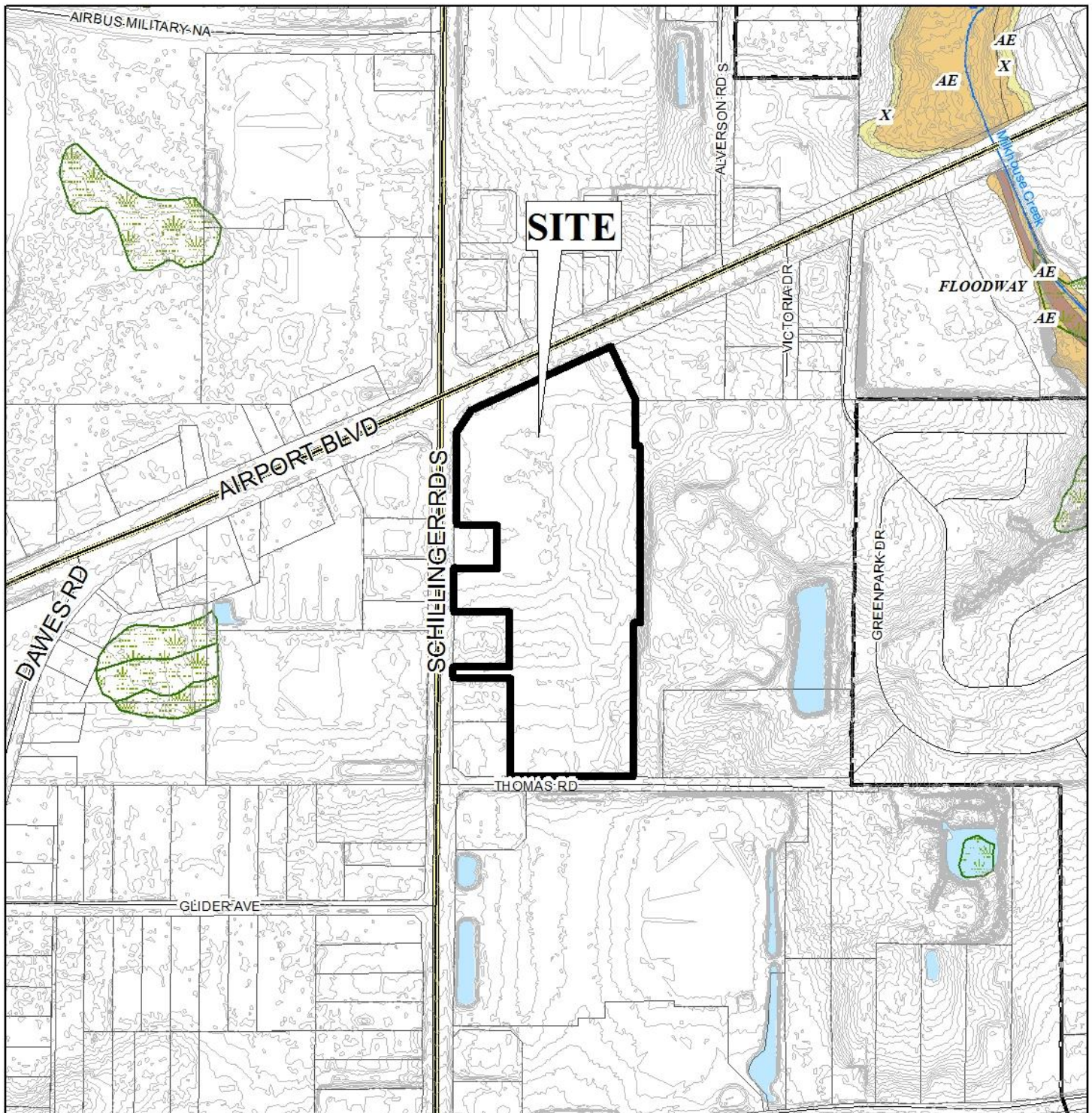
APPLICANT Westwood Plaza Subdivision, Burton Addition to, Resubdivision of Lot B-R, Resubdivision of B and E

REQUEST Subdivision, Planned Unit Development

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



ENVIRONMENTAL LOCATOR MAP



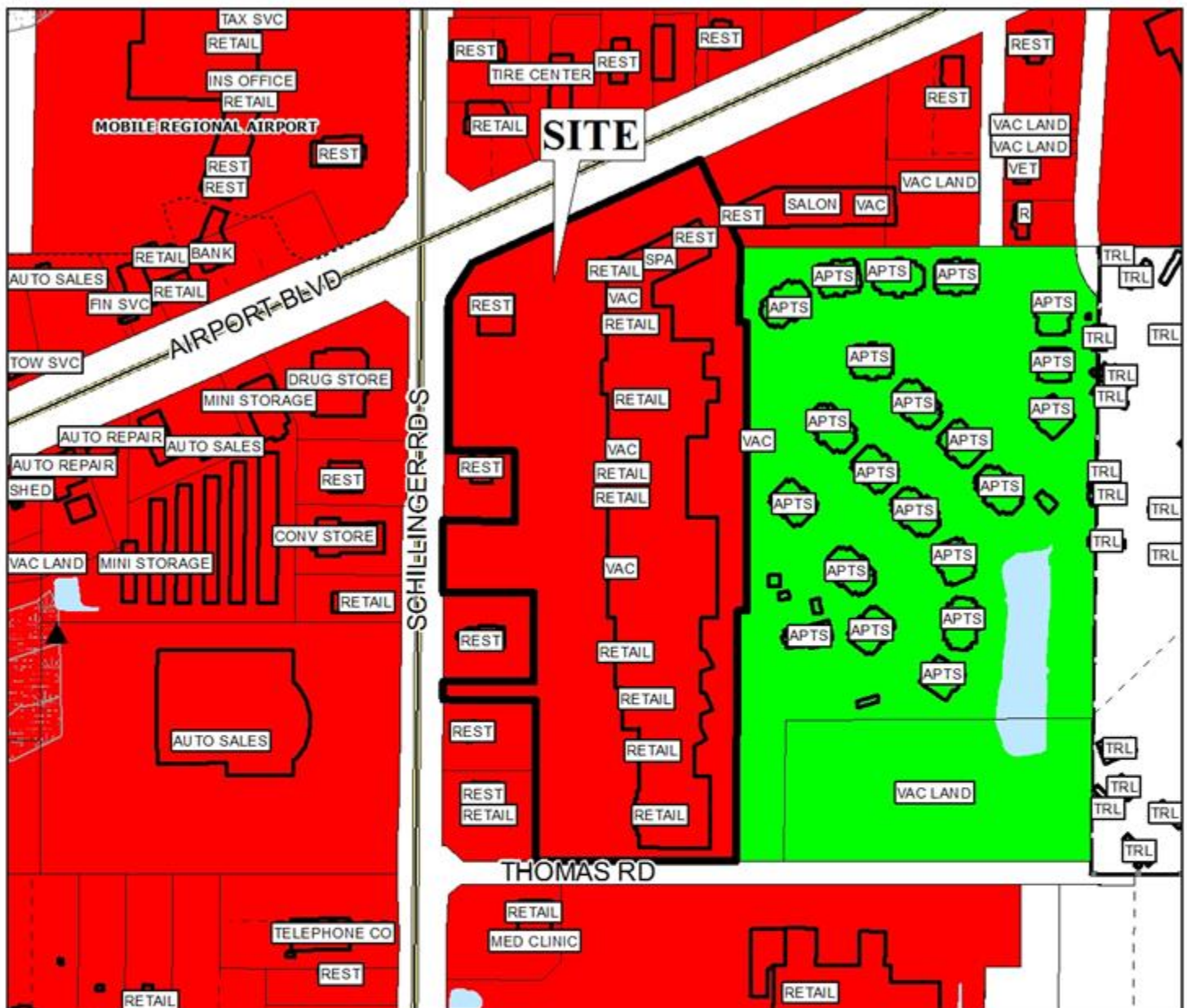
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units. Residential units are located to the east.

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REQUEST Subdivision, Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



The site is surrounded by commercial units. Residential units are located to the east.

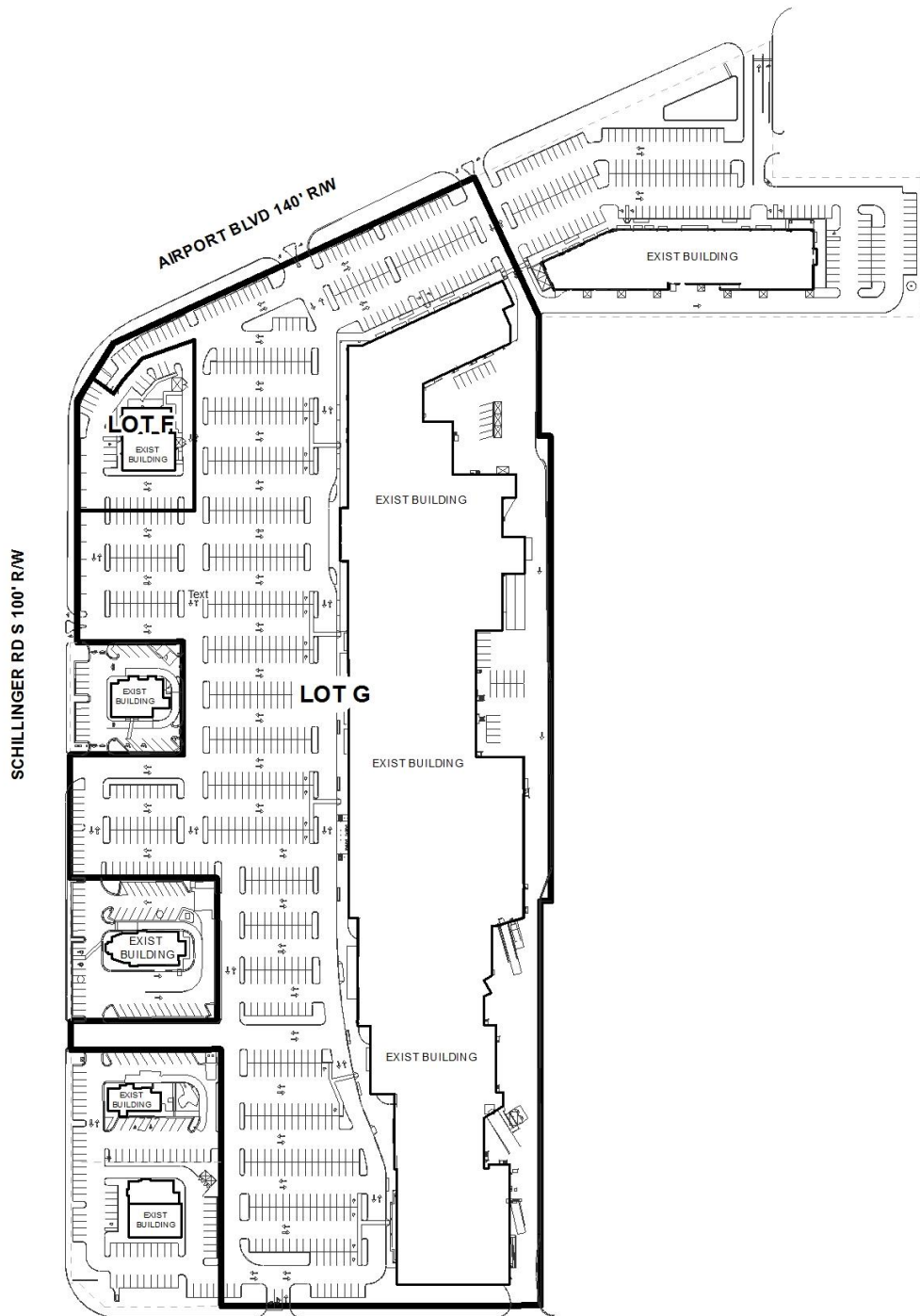
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SITE PLAN



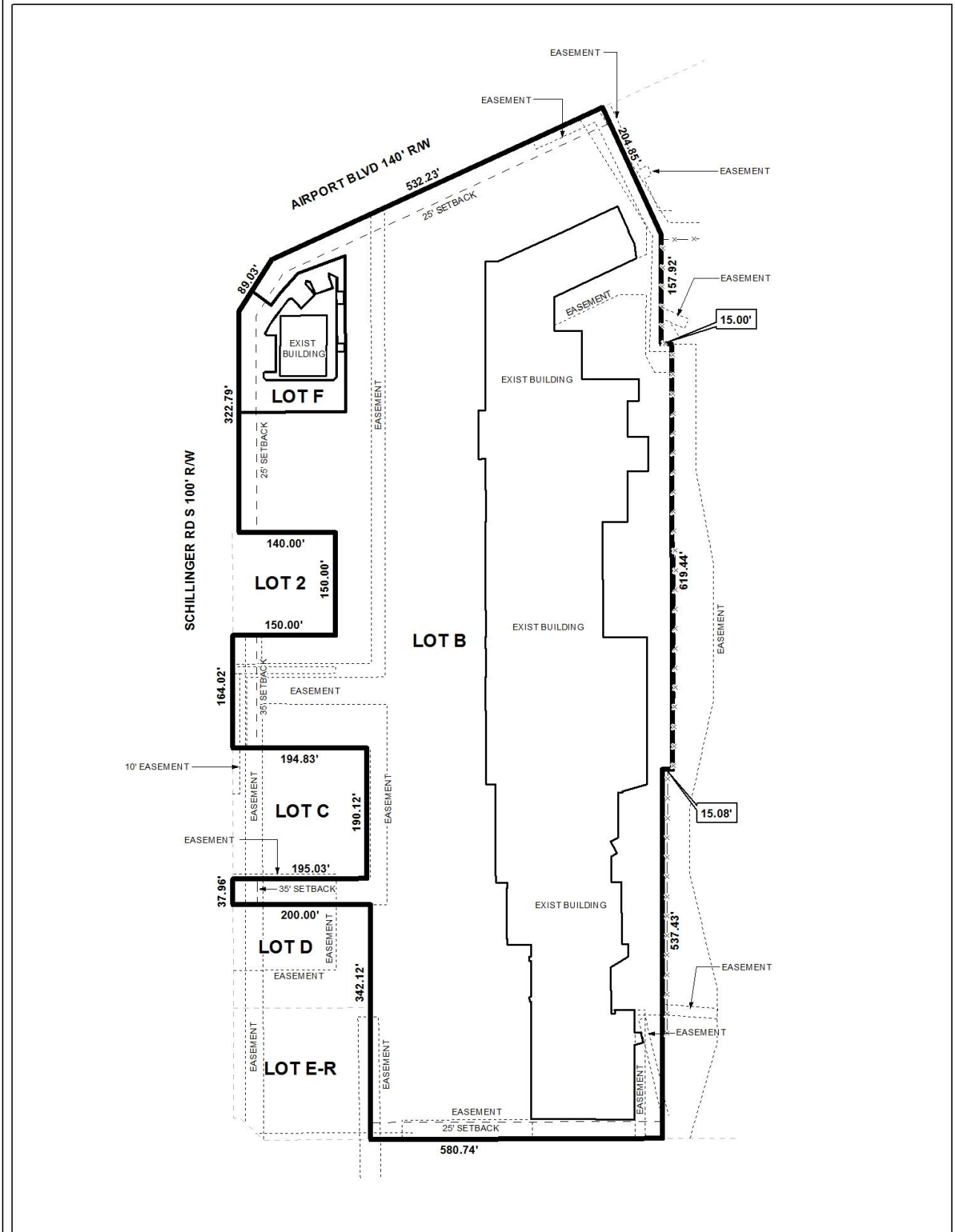
The site plan illustrates the existing buildings, parking, and proposed lots.

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NTS

DETAIL SITE PLAN



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REQUEST Subdivision, Planned Unit Development



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