

VALENCIA CORNER SUBDIVISION

Engineering Comments: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Provide recording data for Valencia Corner Subdivision.
- C. Label all lines (solid or dashed), or include them in a legend.
- D. Clarify the street names and show/label the aka street names.
- E. Review and revise the written legal description and/or written bearing and distances to match.
- F. Label the dedication at the northeast corner of the lot as “ROW Dedication” not “Radius Dedication”.
- G. Provide the Surveyor’s, Owner’s (notarized), Planning Commission, and Traffic Engineering signatures.
- H. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures.
- I. After FINAL PLAT review by the Engineering Dept. provide the red-line markup, a copy of the revised original Final Plat, and the original when submitting for City Engineer signature.

Traffic Engineering Comments: Site is limited to two curb cuts to Tillmans Corner Parkway with size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Inn Road is an ALDOT maintained roadway and any driveways to Inn Road will need to be approved and permitted through ALDOT. On-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWSS Comments: No comment.

The plat illustrates the proposed 1-lot, 1.7± acre subdivision which is located on the Southwest corner of Tillmans Corner Parkway and Inn Road within Council District 4. The applicant states that the subdivision is served by city water and sanitary sewer systems. The purpose of this application is to amend a condition of a previously approved subdivision to allow a third curb-cut to the subject site.

This site has been given a Mixed Commercial Corridor (MCC) land use designation, per the recently adopted Future Land Use Plan and Map. The Future Land Use Plan and Map

complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This designation mostly applies to transportation corridors west of I-65 serving primarily the low-density (suburban) residential neighborhoods. MCC includes a wide variety of retail, services and entertainment uses.

This designation acknowledges existing commercial development that is spread along Mobile's transportation corridors in a conventional strip pattern or concentrated into shorter segments of a corridor.

Over time, new development and redevelopment in Mixed Commercial Corridors is encouraged to raise design quality, improve connectivity to surrounding neighborhoods; improved streetscapes; and improve mobility and accessibility for all users of the corridor.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

The subject site last appeared before the Planning Commission at its November 17, 2016 meeting in which the site was approved for a one-lot subdivision. The applicant now requests to add a curb-cut along Inn Road in order to have another point of access to the subject site for hotel guests and visitors. Currently, there are only two points of access depicted along Tillmans Corner Parkway indicated on the recorded Final Plat.

The subject lot fronts both Inn Road and Tillmans Corner Parkway. Right-of-way requirements were addressed as part of the 2016 plat approval and recording, thus, no dedication will be required.

Being that the subject site has frontage along Inn Road, access from the subject site to Inn Road requires approval from ALDOT as previously mentioned. The applicant provided a written statement from ALDOT with the application submission. The written approval, dated August 2, 2016, states the following:

I just want to follow up from our phone conversation this morning. We will agree to allow the two one-way access points to the development if the parking on the inbound and outbound areas is changed to slanted or angled positions matching the ingress or egress movements respectively. You indicated that this would be an acceptable compromise and that you would proceed with making adjustments prior to permit submittal. I appreciate your contacting me with this for discussion and if you have any other questions please let me know. Thank you.

*Michael Smith, ALDOT
Area Permit Manager*

The submitted site plan depicts all parking spaces proposed for the development to be configured at a 90 degree orientation, specifically along the inbound and outbound areas, and do not reflect the required angled parking as indicated in the statement from ALDOT. However, there is only one access point proposed along Inn Road, and not two points of access. The applicant needs to ensure that ALDOT has been given the most recent site plan for review, or should make the necessary changes to the site plan in order to comply with ALDOT stipulations regarding the curb-cut along Inn Road, as well as complying with the City of Mobile's Zoning Ordinance requirements for commercial parking areas.

The 25-foot minimum building setback line is depicted on the preliminary plat along both Tillmans Corner Parkway and Inn Road, and should be retained on the Final Plat, if approved.

The proposed lot exceeds the 7,200 square foot minimum lot size requirements for lots served by public water and sanitary sewer systems. The lot size information is indicated in acres; however, the Final Plat, if approved, should also indicate the lot size information in square feet as well.

As a means of access management, a note should be placed on the Final Plat stating that the lot is limited to two curb-cuts to Tillmans Corner Parkway and one curb-cut to Inn Road, subject to approval from ALDOT, with any changes to the size, location and design to be approved by Traffic Engineering and ALDOT, and conform to AASHTO standards.

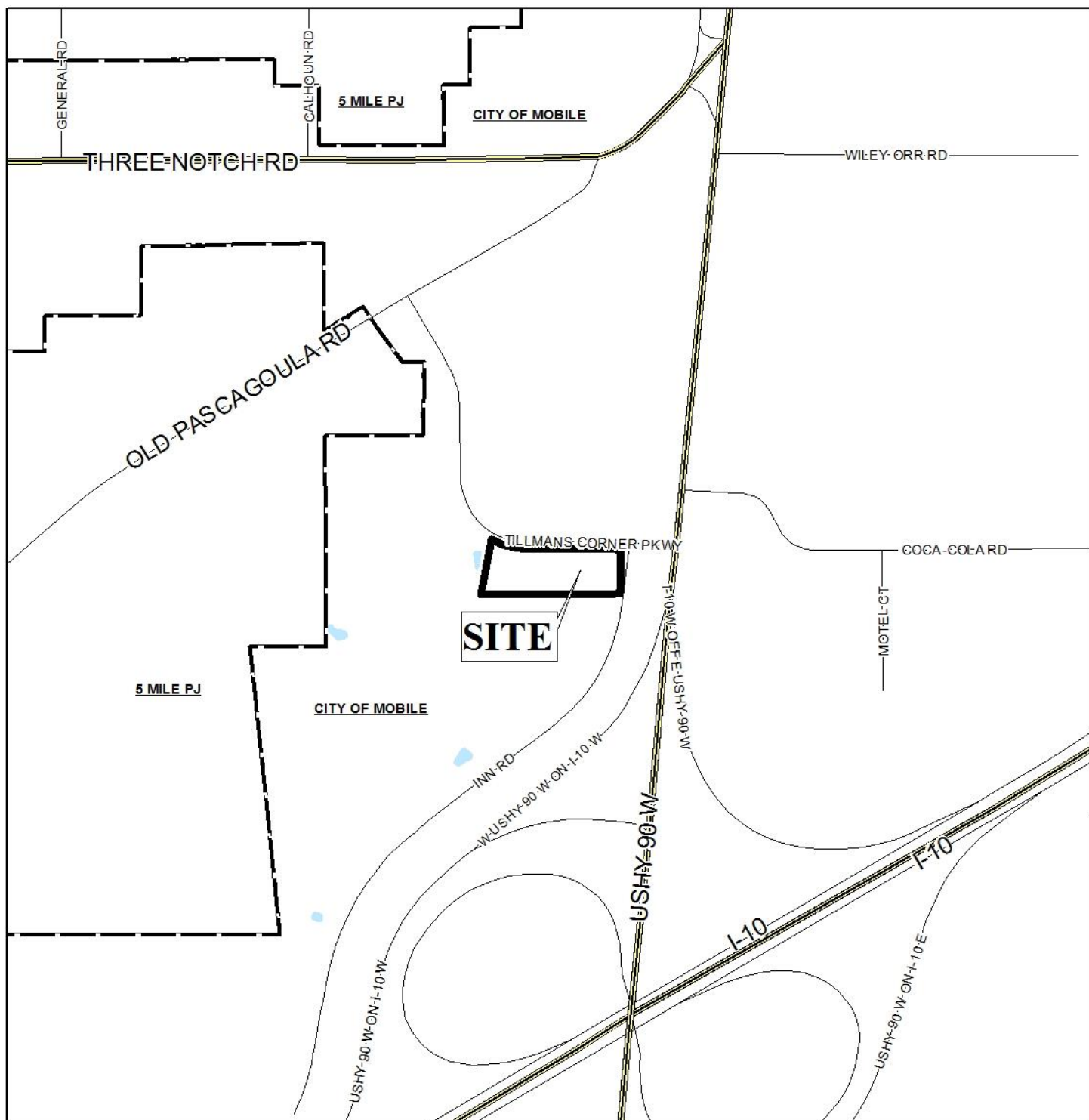
Based upon the preceding, this application is recommended for Tentative Approval subject to the following:

- 1) Retention of the right-of-way width along Tillmans Corner Parkway;
- 2) Revision of the right-of-way width along Inn Road to depict a width of 60';
- 3) Retention of the 25-foot minimum building setback line along both Inn Road and Tillmans Corner Parkway;
- 4) Revision of the lot size information to be depicted in both square feet and in acres;
- 5) Placement of a note on the Final Plat stating that the lot is limited to two curb cuts to Tillmans Corner Parkway and one curb-cut to Inn Road, subject to approval from ALDOT, with any changes to the size, location and design to be approved by Traffic Engineering and ALDOT, and conform to AASHTO standards.
- 6) Compliance with Engineering comments: *(FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Provide recording data for Valencia Corner Subdivision. C. Label all lines (solid or dashed), or include them in a legend. D. Clarify the street names and show/label the aka street names. E. Review and revise the written legal description and/or written bearing and distances to match. F. Label the dedication at the northeast corner of the lot as "ROW Dedication" not "Radius Dedication". G. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. H. Provide a copy of the*

FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures. I. After FINAL PLAT review by the Engineering Dept. provide the red-line markup, a copy of the revised original Final Plat, and the original when submitting for City Engineer signature.);

- 7) *Compliance with Traffic Engineering comments (Site is limited to two curb cuts to Tillmans Corner Parkway with size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Inn Road is an ALDOT maintained roadway and any driveways to Inn Road will need to be approved and permitted through ALDOT. On-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 8) *Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).); and*
- 9) *Compliance with Fire Department comments and placement of a note (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).*

LOCATOR MAP



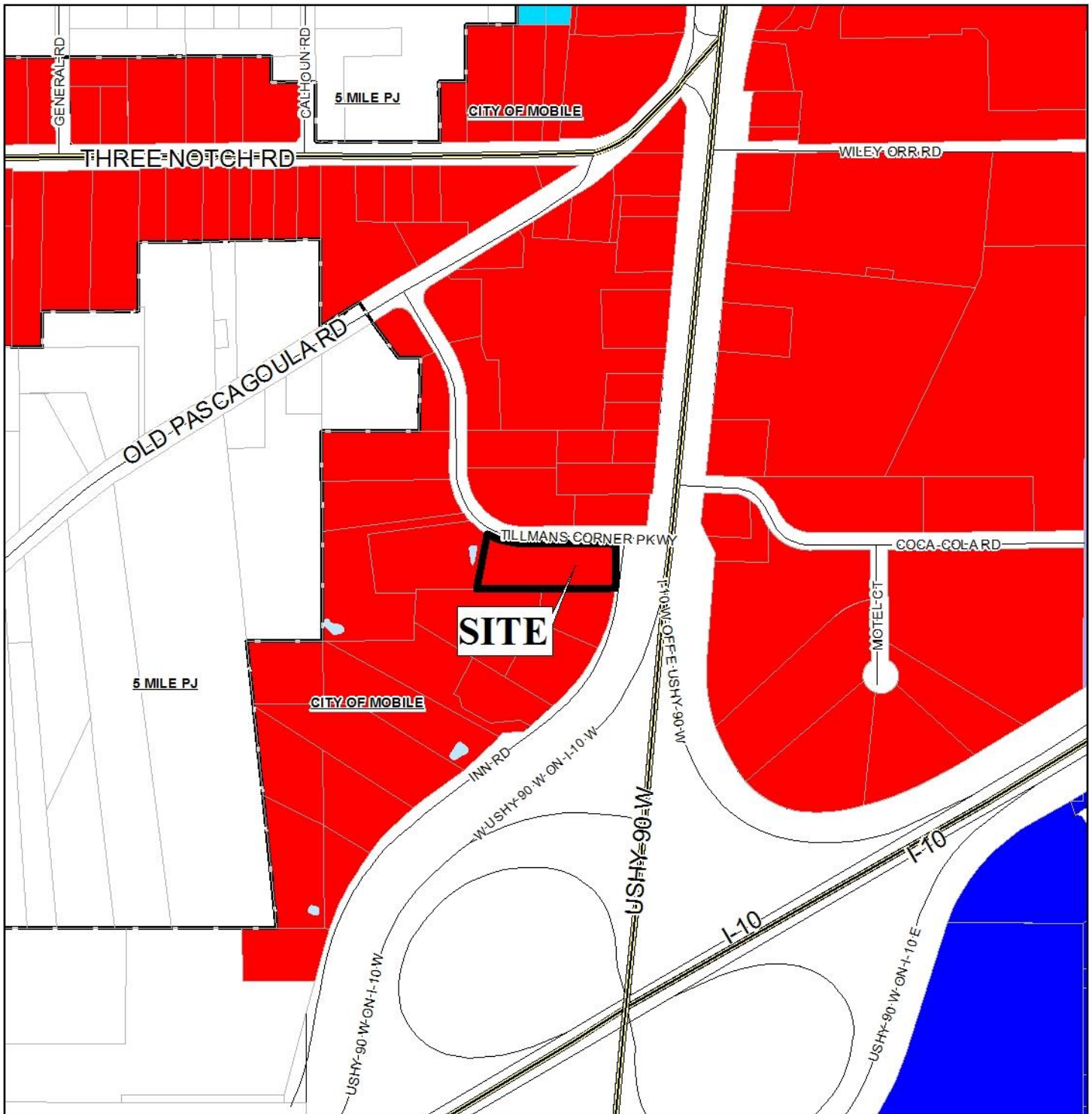
APPLICATION NUMBER 6 DATE September 7, 2017

APPLICANT Valencia Corner Subdivision

REQUEST Subdivision



LOCATOR ZONING MAP



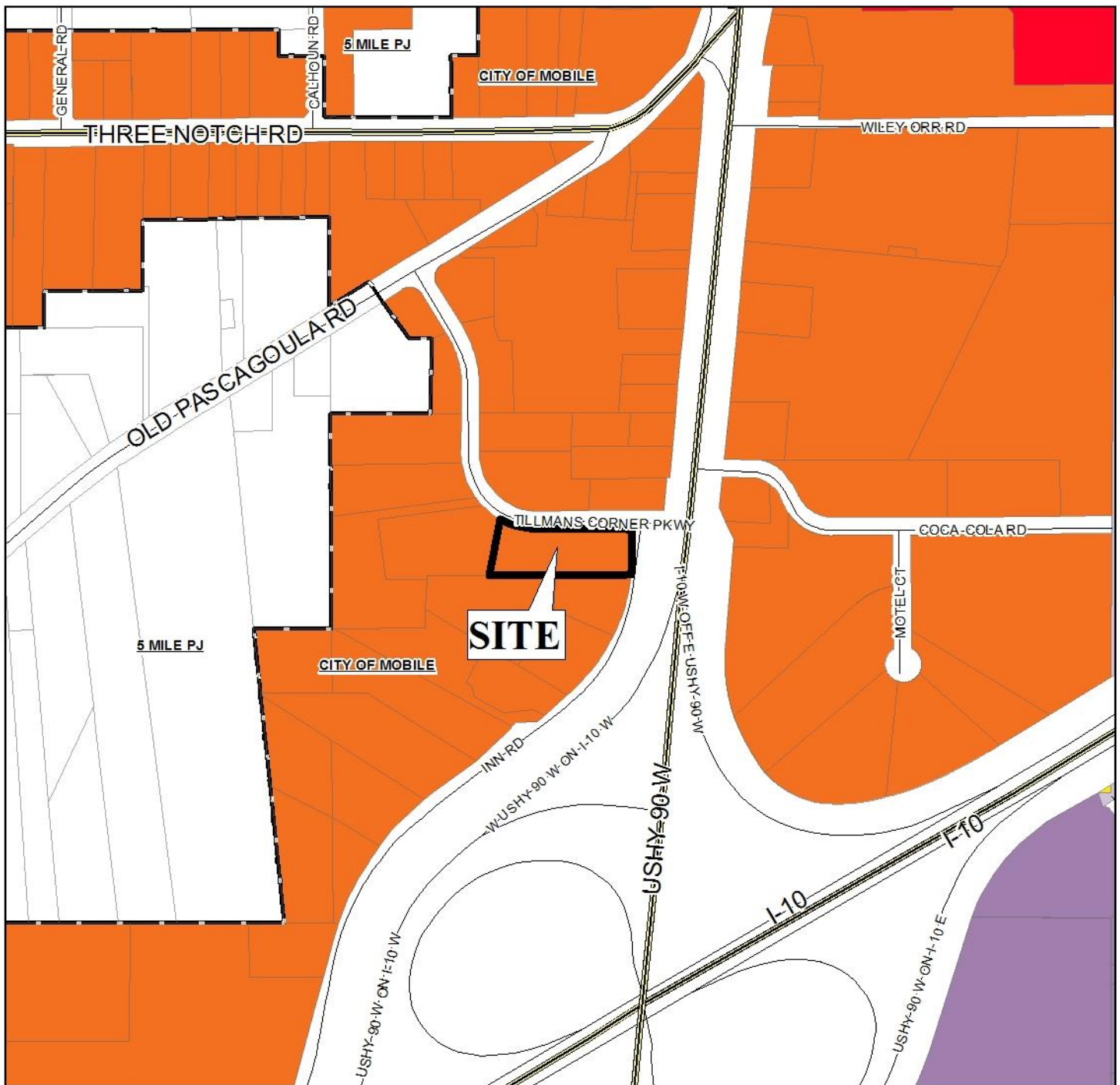
APPLICATION NUMBER 6 DATE September 7, 2017

APPLICANT Valencia Corner Subdivision

REQUEST Subdivision



FLUM LOCATOR MAP



APPLICATION NUMBER 6 DATE September 7, 2017

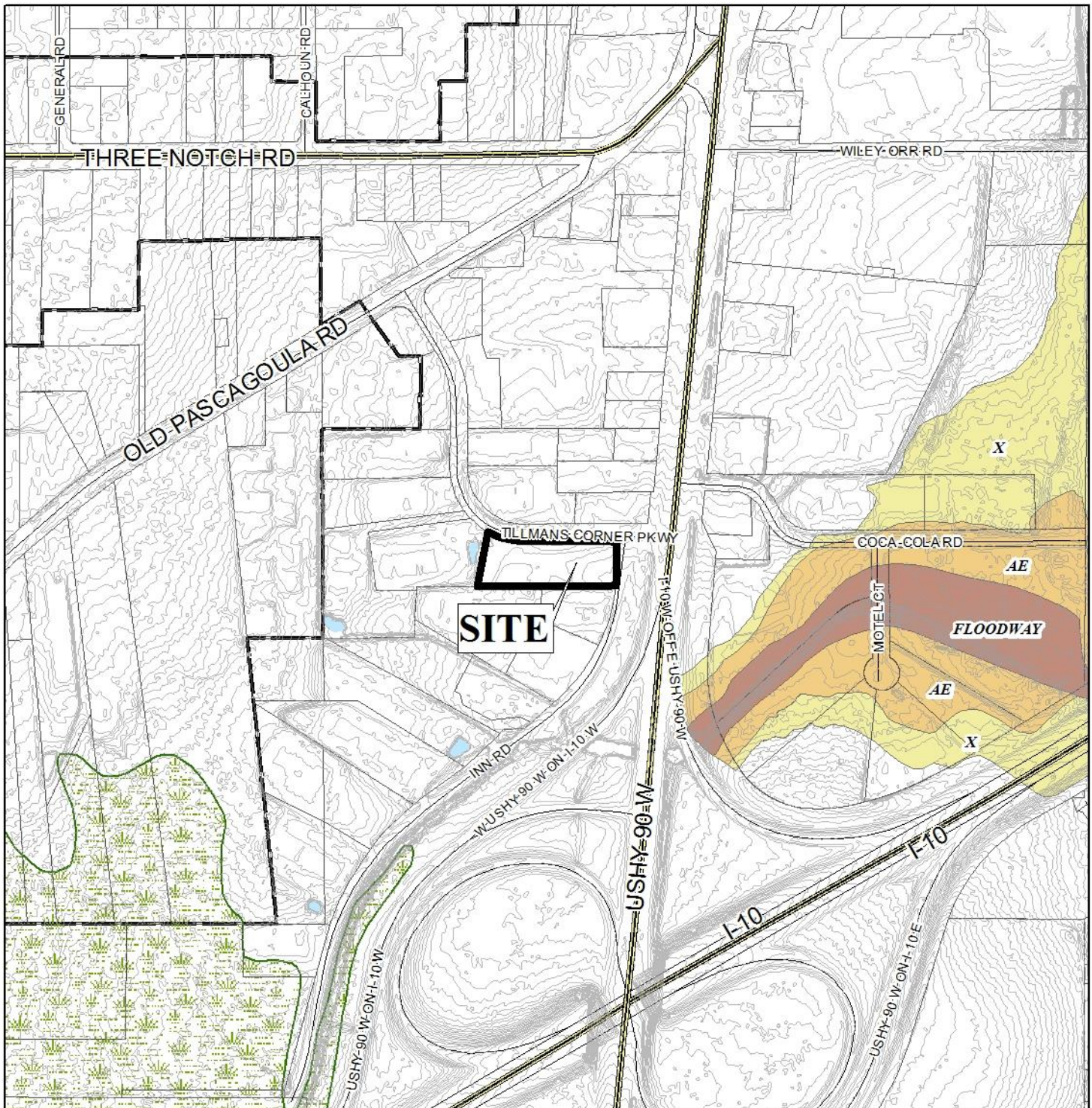
APPLICANT Valencia Corner Subdivision

REQUEST Subdivision

- | | | | |
|---------------------------|----------------------------------|---------------------|--------------------|
| Low Density Residential | Neighborhood Center- Traditional | Downtown Waterfront | Water Dependent |
| Mixed Density Residential | Traditional Corridor | Light Industry | Parks & Open Space |
| Downtown | Neighborhood Center- Suburban | Heavy Industry | |
| District Center | Mixed Commercial Corridor | Institutional | |



ENVIRONMENTAL LOCATOR MAP



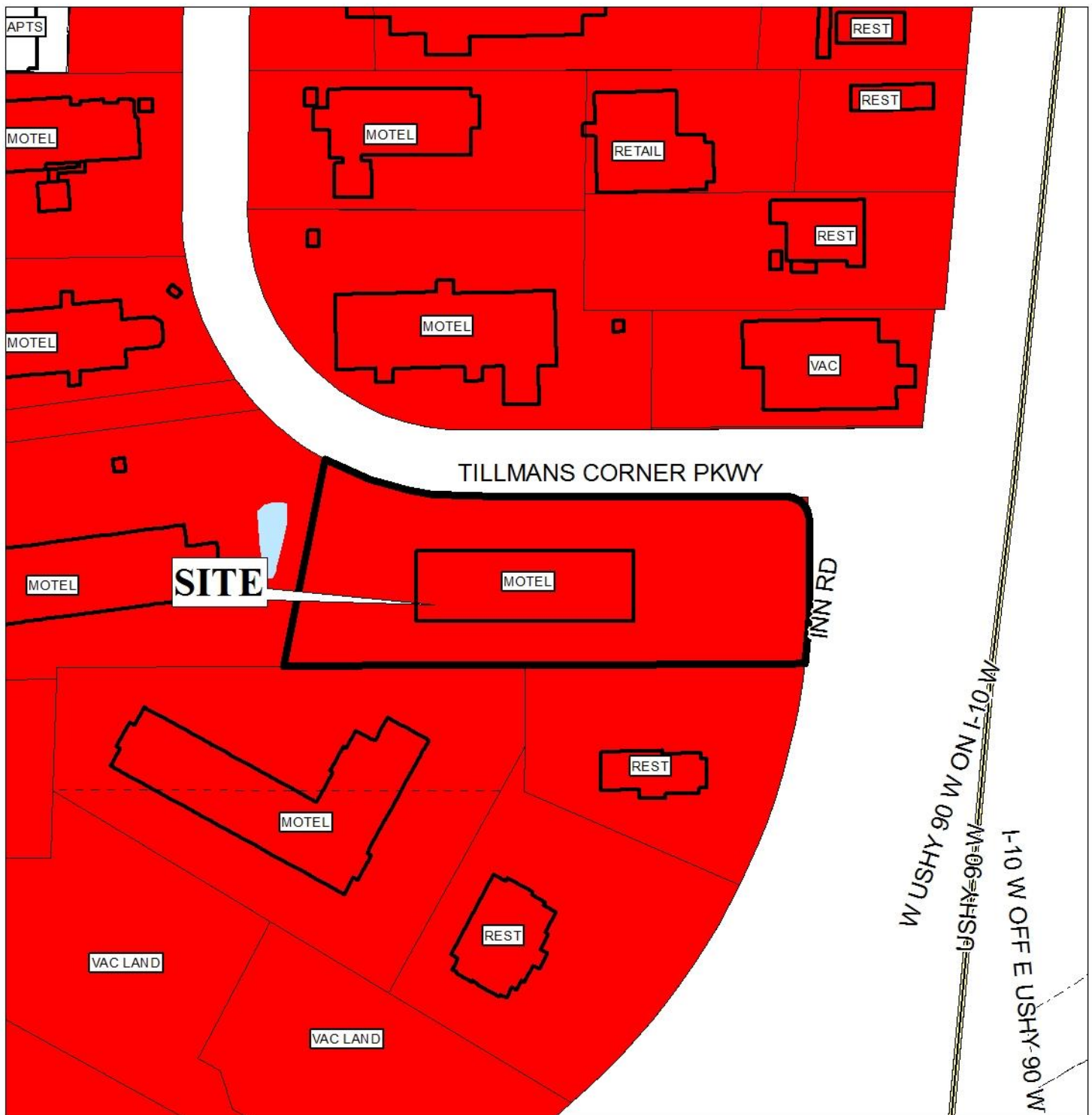
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VALENCIA CORNER SUBDIVISION



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



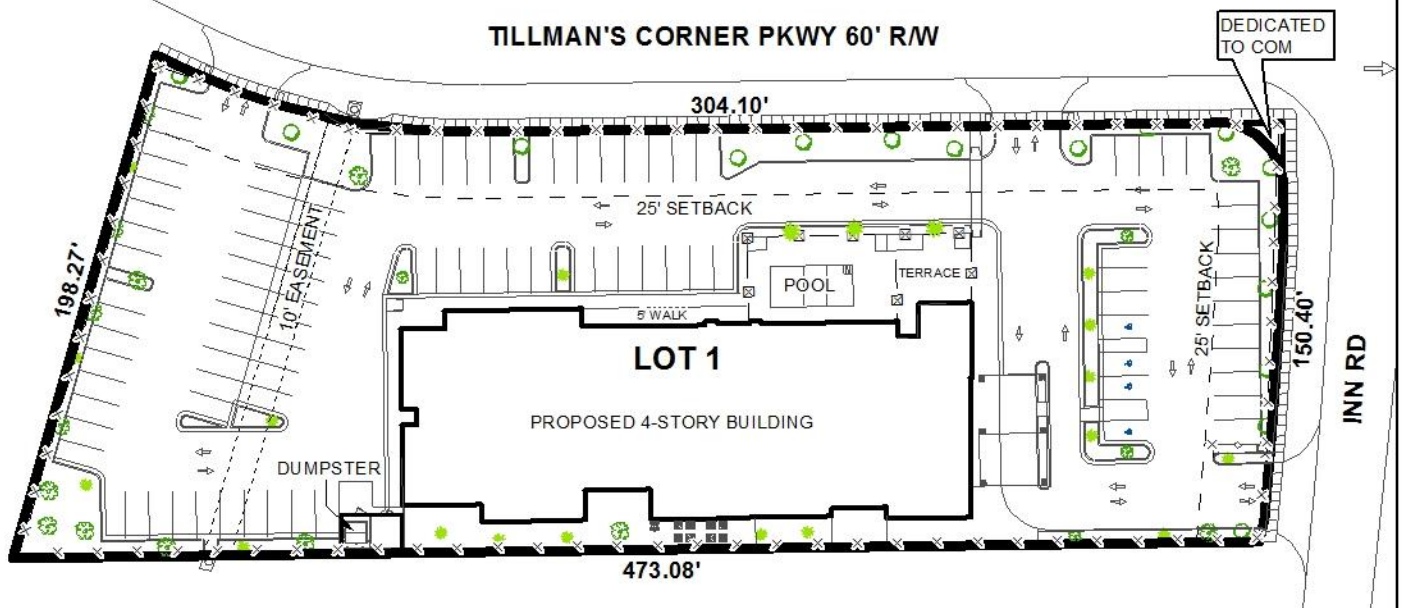
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DETAIL SITE PLAN



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