

UTEG PLACE SUBDIVISION

Engineering Comments: The following comments should be addressed prior to acceptance and signature by the City Engineer: 1. Provide topographic information of the existing drainage way and exposed sanitary sewer line to establish/verify drainage and utility easements. GIS topography does not seem to match the existing ground topography. 2. Final size and location of the public drainage easement shall be approved by the City Engineer. 3. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 4. A signature block and signature for the Traffic Engineering Department shall be placed on the Final Plat.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: No comments.

The plat illustrates the proposed 1.5± acre, 1-lot subdivision, which is located on the East side of Stevens Lane at its South terminus, in Council District 7. The applicant states the site is served by city water and sanitary sewer services.

The purpose of this application is to create a legal lot of record from a metes-and-bounds parcel. The proposed lot would meet the minimum size requirements.

The site fronts Stevens Lane, a minor street with a complaint 60' right-of-way and a half-cul-de-sac terminus along the West side. As the current IFC standard requires a 120' diameter for a non-median cul-de-sac, dedication would be required in the Northwest corner of the proposed lot to provide a 60' radius for the East portion of the cul-de-sac, and such is indicated on the plat. As a means of access management, a note should be required on the Final Plat stating that the lot is limited to one curb cut to Stevens Lane, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. As on the preliminary plat a note should be required on the Final Plat stating that the lot is denied access to Carre Drive South, an unopened public right-of-way, until such time that it is developed to City standards. As on the preliminary plat, the Final Plat should illustrate the 25' minimum building setback line along Stevens Lane. The plat should be revised to also illustrate a 25' by 25' building setback line block-out in the Northeast corner of the lot at the West terminus of Carre Drive South. The lot is labeled on the plat with its size in square feet and acres and this should also be done on the Final Plat, or a table should be furnished on the Final Plat providing the same information.

The plat indicates a 15' utility easement and a 30' drainage easement across portions of the site; therefore, these should also be shown on the Final Plat and a note required stating that no structures are to be placed within any easements.

The site appears to be located in a floodplain and/or floodway for Three Mile Creek and may contain wetlands. The presence of wetlands and floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

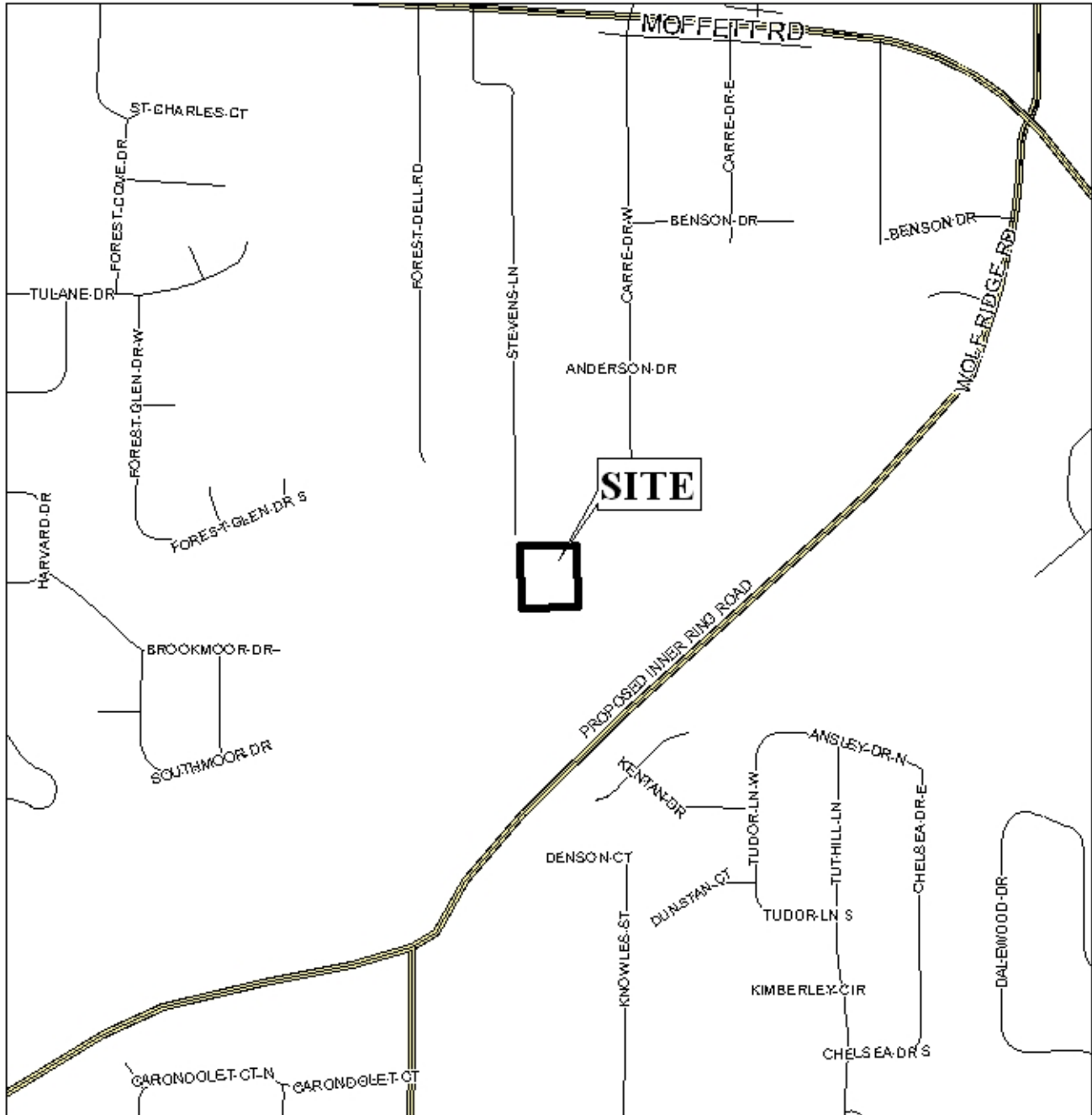
The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) dedication of sufficient right-of-way to provide a portion of a 60' radius cul-de-sac in the Northwest corner of the property;
- 2) placement of a note on the final plat stating the lot is limited to one curb cut to Stevens Lane, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 3) placement of a note on the Final Plat stating that the lot is denied access to Carre Drive South until such time it is developed to City standards;
- 4) illustration of the 25' minimum building setback line along Stevens Lane;, revised to show a setback around any dedicated cul-de-sac radius at the South terminus of Stevens Lane;
- 5) revision of the plat to illustrate a 25' by 25' minimum building setback block-out in the Northeast corner of the lot at the West terminus of Carre Drive South;
- 6) labeling of the lot with its size in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 7) illustration of the 15' utility easement and the 30' drainage easement on the Final Plat;
- 8) placement of a note on the Final Plat stating that no structures are to be placed in any easements;
- 9) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies for endangered, threatened or otherwise protected species is required prior to the issuance of any permits or land disturbance activities;
- 10) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local environmental agencies for wetlands or floodplains issues is required prior to the issuance of any permits or land disturbance activities; and
- 11) subject to the Engineering Comments: *(The following comments should be addressed prior to acceptance and signature by the City Engineer: 1. Provide topographic information of the existing drainage way and exposed sanitary sewer line to establish/verify drainage and utility easements. GIS topography does not seem to match the existing ground topography. 2. Final size and location of the public drainage*

easement shall be approved by the City Engineer. 3. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 4. A signature block and signature for the Traffic Engineering Department shall be placed on the Final Plat); and;

- 12) subject to the Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile).*

LOCATOR MAP



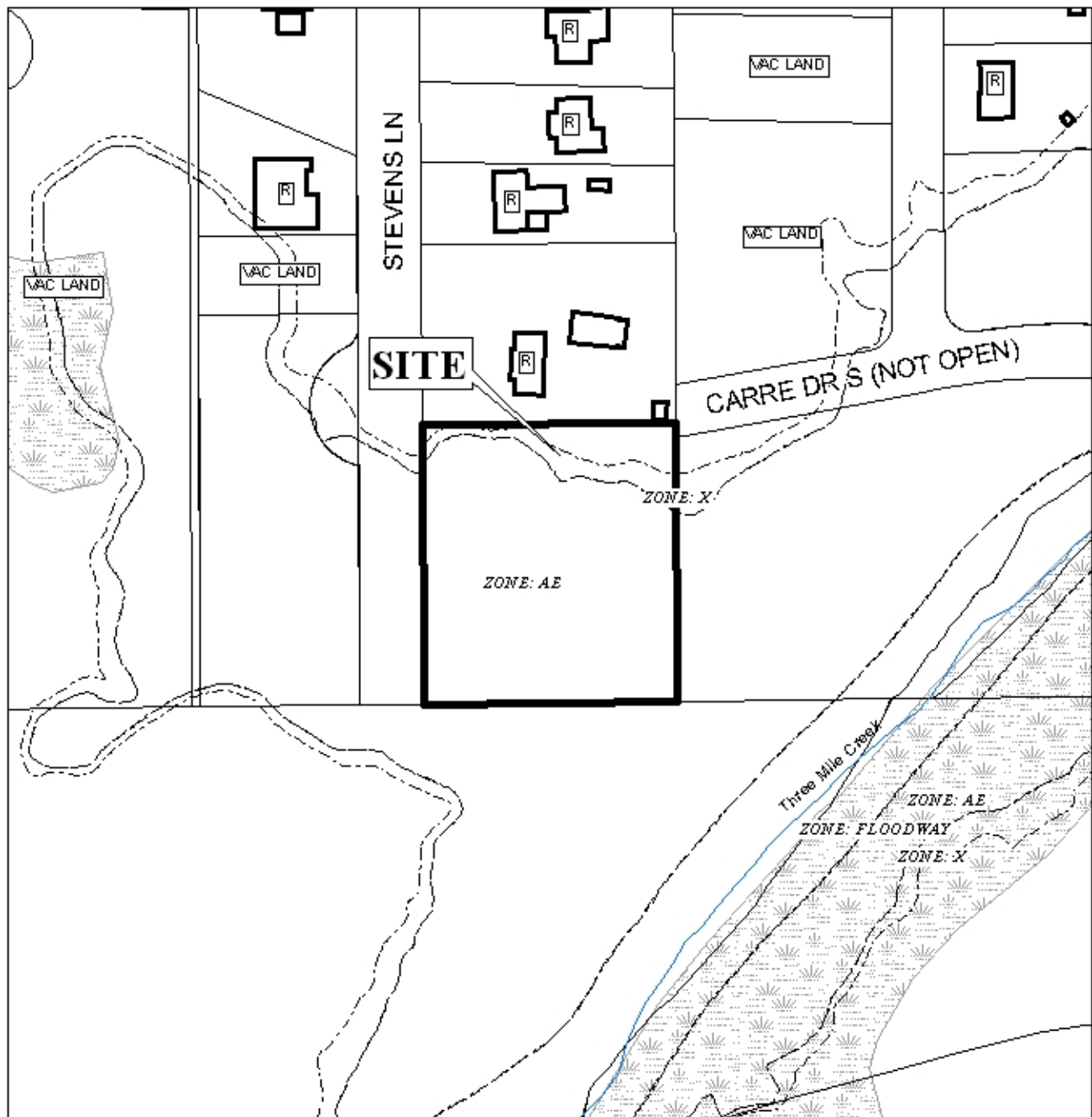
APPLICATION NUMBER 6 DATE September 6, 2012

APPLICANT Uteg Place Subdivision

REQUEST Subdivision



UTEG PLACE SUBDIVISION



APPLICATION NUMBER 6 DATE September 6, 2012

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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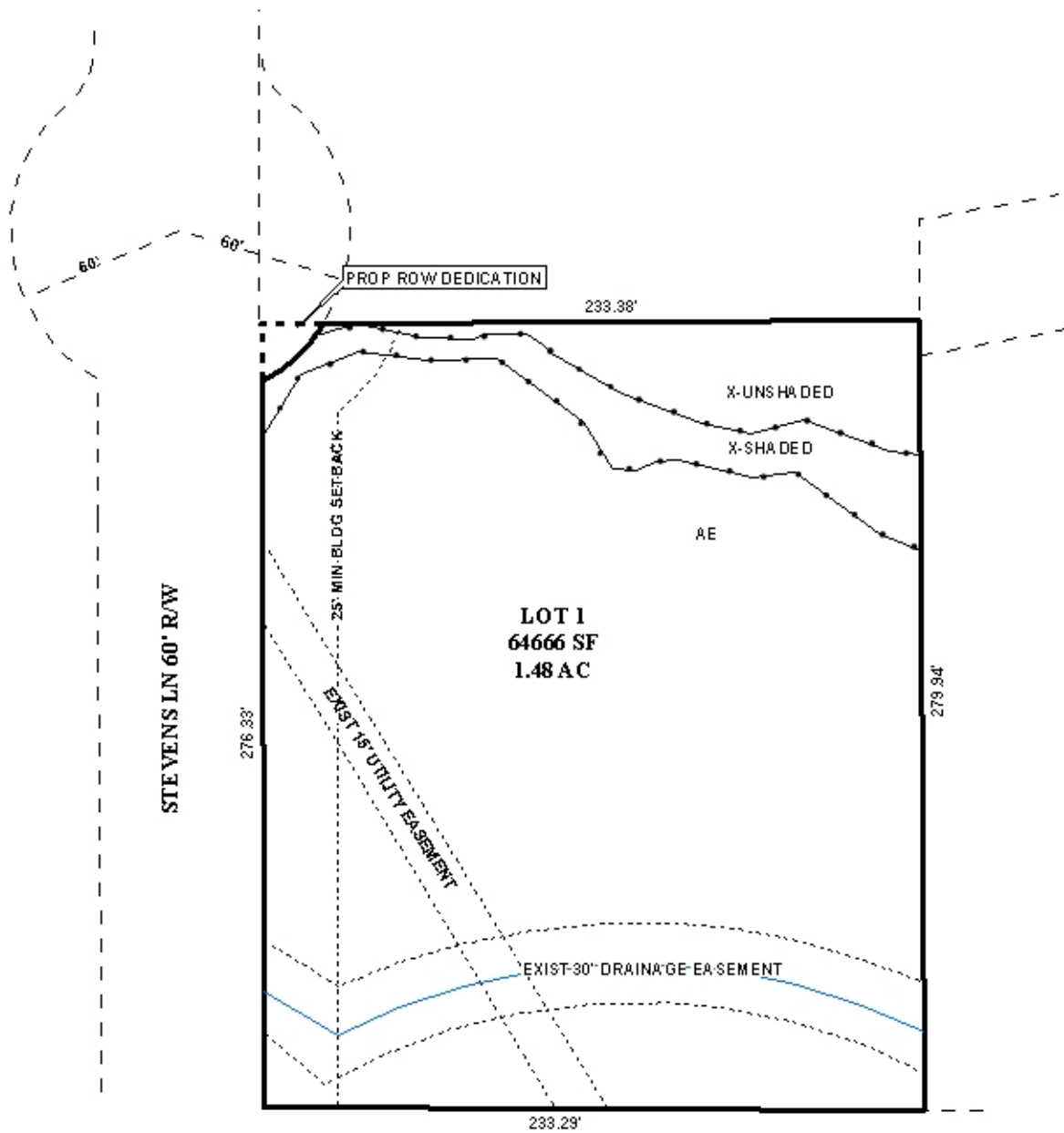
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APPLICATION NUMBER 6 DATE September 6, 2012



DETAIL SITE PLAN



APPLICATION NUMBER 6 DATE September 6, 2012
APPLICANT Uteg Place Subdivision
REQUEST Subdivision

