

SULLIVAN'S ADDITION TO BOWERS LANE **SUBDIVISION**

Engineering Comments: Due to flooding in the area, detention will be required for the proposed lots assuming the maximum allowable site coverage. At a minimum, the detention shall detain the 100 year storm event, with a 2 year release rate. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWWS Comments: No comments.

The plat illustrates the proposed 5.1± acre, 3-lot subdivision, which is located on the West side of Bowers Lane, 160'± South of Diamond Road, in Council District 4. The applicant states the site is served by city water and individual septic systems.

The purpose of this application is to subdivide an existing metes-and-bounds parcel into three legal lots of record. All lots would meet the minimum size requirements.

The site fronts Bowers Lane, a paved and publicly-maintained road with a compliant 50' right-of-way; therefore, no dedication would be required. As a means of access management, a note should be required on the final plat stating that Lots 1 and 3 are limited to one curb cut each, and Lot 2 is limited to two curb cuts, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. As on the preliminary plat, the final plat should illustrate the 25' minimum building setback line. Also, as on the preliminary plat, each lot should be labeled with its size in acres and square feet, or a table should be furnished on the final plat providing the same information.

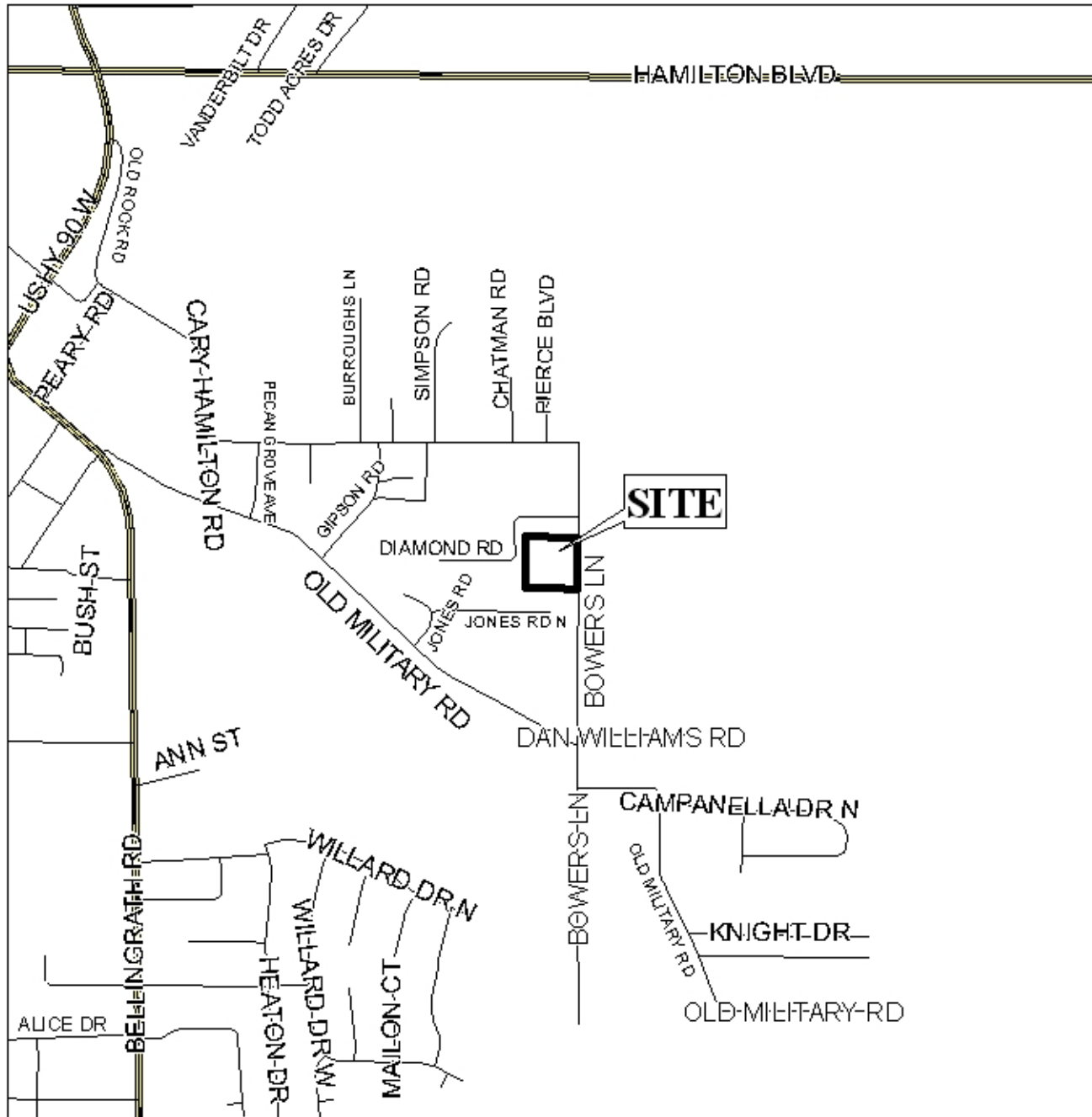
As proposed, the lots exceed the maximum depth-to-width ration of Section V.D.3. of the Subdivision Regulations; however, narrow, deep lots are typical within the surrounding area. Therefore, a waiver of Section V.D.3. would be in order.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

With a waiver of Section V.D.3. of the Subdivision Regulations, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that Lots 1 and 3 are limited to one curb cut each, and Lot 2 is limited to two curb cuts, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) illustration of the 25' minimum building setback line along Bowers Lane;
- 3) labeling of each lot with its size in square feet and acres, or the furnishing of a table on the final plat providing the same information;
- 4) placement of a note on the final plat stating that development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 5) subject to the Engineering Comments: *(Due to flooding in the area, detention will be required for the proposed lots assuming the maximum allowable site coverage. At a minimum, the detention shall detain the 100 year storm event, with a 2 year release rate. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit).*

LOCATOR MAP



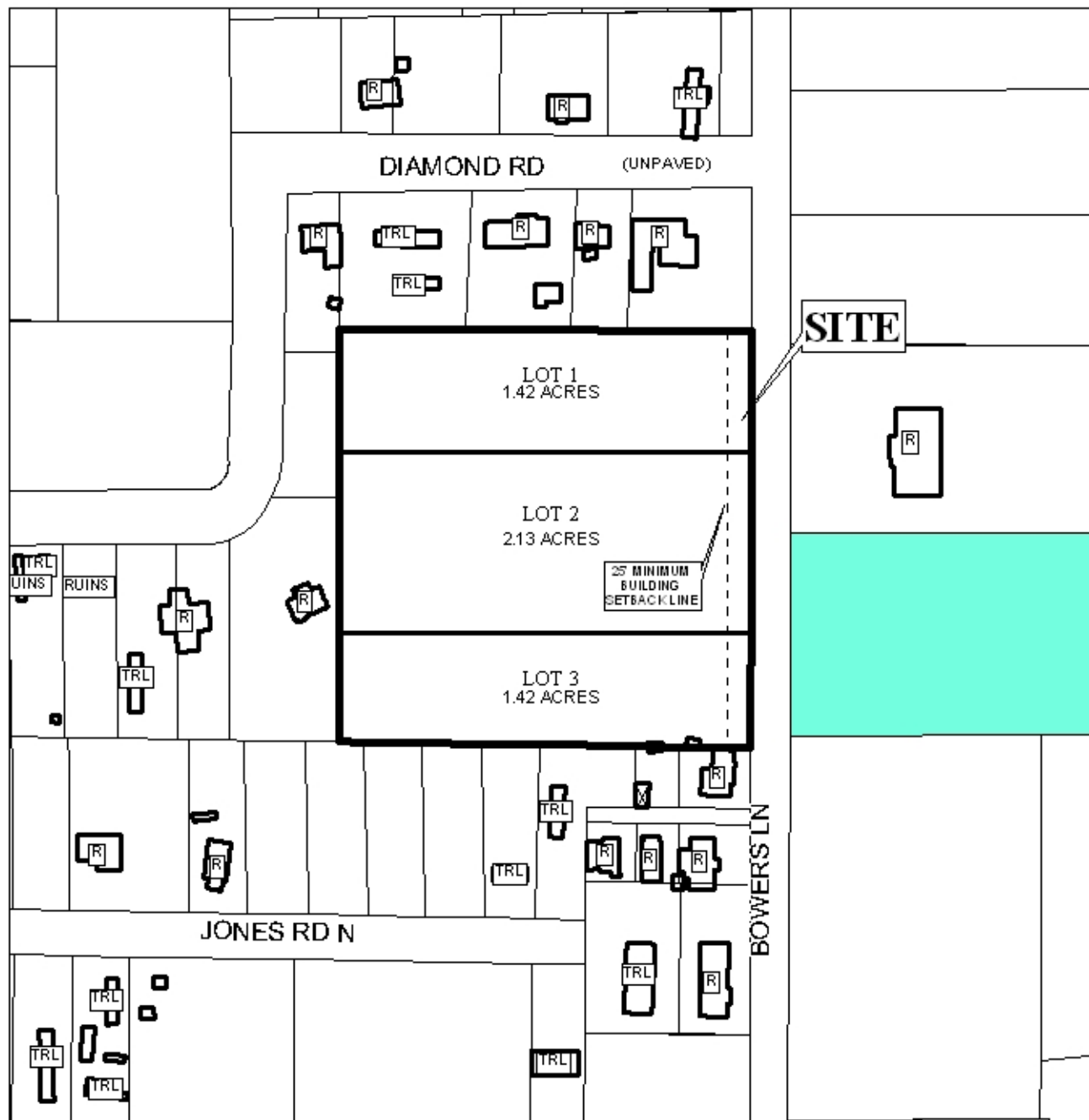
APPLICATION NUMBER 6 DATE August 6, 2009

APPLICANT Bowers Lane Subdivision, Sullivans Addition to

REQUEST Subdivision



BOWERS LANE SUBDIVISION, SULLIVANS ADDITION TO



APPLICATION NUMBER 6 DATE August 6, 2009

LEGEND	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

N
NTS

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