

STONE'S SUBDIVISION, RE-SUBDIVISION OF LOT 1

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has only sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 2-lot, 2.9± acre subdivision which is located at the Southeast corner of Bellingrath Road and Industrial Road, and is located within the Planning Jurisdiction. The applicant states that the subdivision is served by both public water and individual septic tanks.

The purpose of this application is to create two legal lots of record from one legal lot of record.

The site has frontage along Bellingrath Road and Industrial Road, both of which are major streets on the Major Street Plan, and as such, both should have a 100' right-of-way. The recorded subdivision plat illustrates a 60' right-of-way along Bellingrath Road and does not depict Industrial Road at all. The preliminary plat submitted does not give a right-of-way width for Industrial Road, and states that the right-of-way for Bellingrath Road varies. If approved, the Final Plat should be revised to depict a 100' right of way for both roads, with any dedications necessary to provide 50' from the centerline. Also, dedication of curb radii at the intersection in compliance with Section V.B.16. of the Subdivision Regulations should be illustrated as well.

As a mean of access management, a note should be placed on the Final Plat limiting each lot to the existing curb-cuts to Bellingrath Road, with the size, design, and location of all curb cuts to be approved by Mobile County Engineering and conform to AASHTO standards.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. The note regarding this requirement should also appear on the Final Plat, if approved.

The site must comply with the City of Mobile storm water and flood control ordinances. Therefore, a note stating "Must comply with the Mobile County Flood Damage Prevention

Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.” should be placed on the Final Plat.

The lot sizes are not labeled in square feet or acres on the preliminary plat. This information should be placed on the Final Plat, if approved.

The proposed lots are labeled as “1-A” and “1-B”, and if approved, they should be re-labeled as “Lot 1” and “Lot 2” or “Lot A” and “Lot B”.

The 25-foot minimum building setback is not shown on the preliminary plat as required by Section V.D.9. of the Subdivision Regulations. If approved, the minimum building setback line should be depicted on the Final Plat.

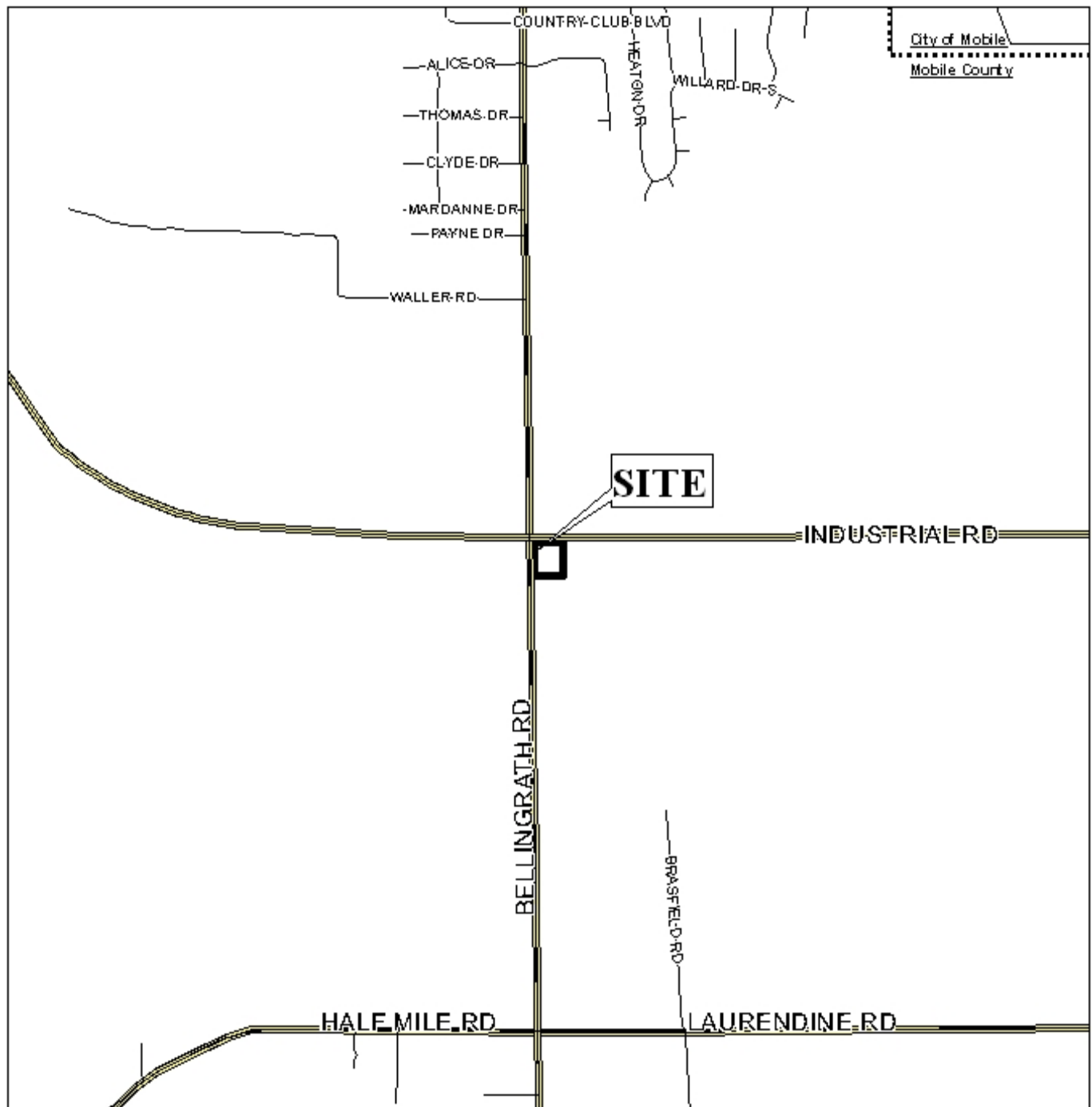
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the Final Plat.

Based upon the preceding, this application is recommended for tentative approval, with a waiver of Section V.D.1. of the Subdivision Regulations, subject to the following conditions:

- 1) depiction of the 25-foot minimum building setback line along Bellingsrath Road and Industrial Road, as required by Section V.D.9. of the Subdivision Regulations;
- 2) labeling of the lot sizes, in square feet and acres, or provision of a table on the Final Plat with the same information;
- 3) re-label lots as “Lot 1 and “Lot 2” or “Lot A” and “Lot B”;
- 4) dedications to provide 50’ from the centerline along both Bellingsrath Road and Industrial Road if necessary;
- 5) dedications to provide curb radii at the intersection in compliance with Section V.B.16. of the Subdivision Regulations;
- 6) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 7) placement of a note on the Final Plat stating the site must comply with the City of Mobile storm water and flood control ordinances: (Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);

- 8) placement of a note on the Final Plat limiting each lot to the existing curb-cuts to Bellingrath Road, with the size, design, and location of all curb-cuts to be approved by Mobile County Engineering and conform to AASHTO standards; and
- 9) placement of a note on the Final Plat stating that approval of all applicable federal, state, and local agencies is required for endangered, threatened, or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.

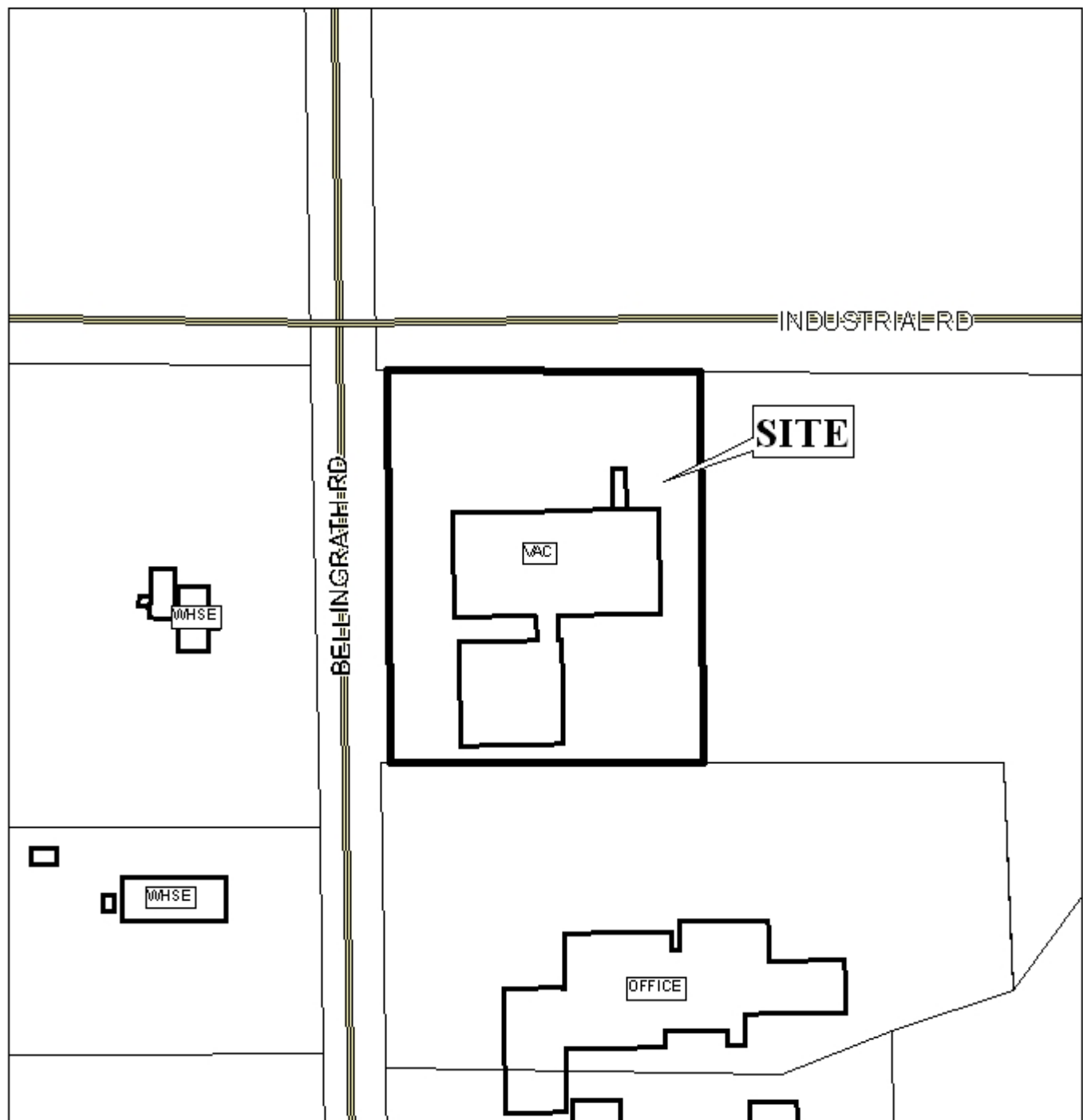
LOCATOR MAP



APPLICATION NUMBER 6 DATE May 3, 2012
APPLICANT Stone's Subdivision, Resubdivision of Lot 1
REQUEST Subdivision


















STONE'S SUBDIVISION, RESUBDIVISION OF LOT 1



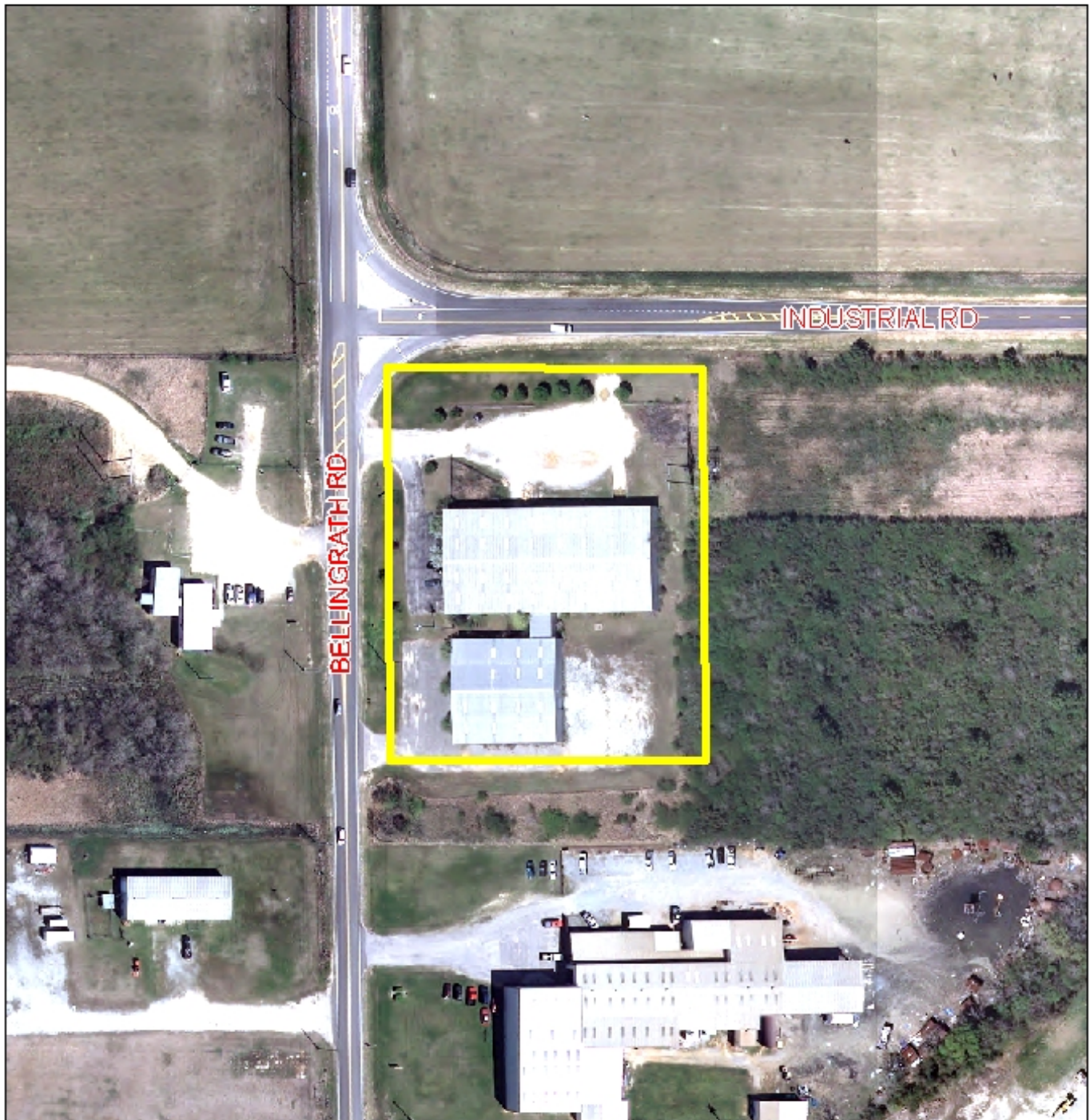
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LEGEND

														
R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



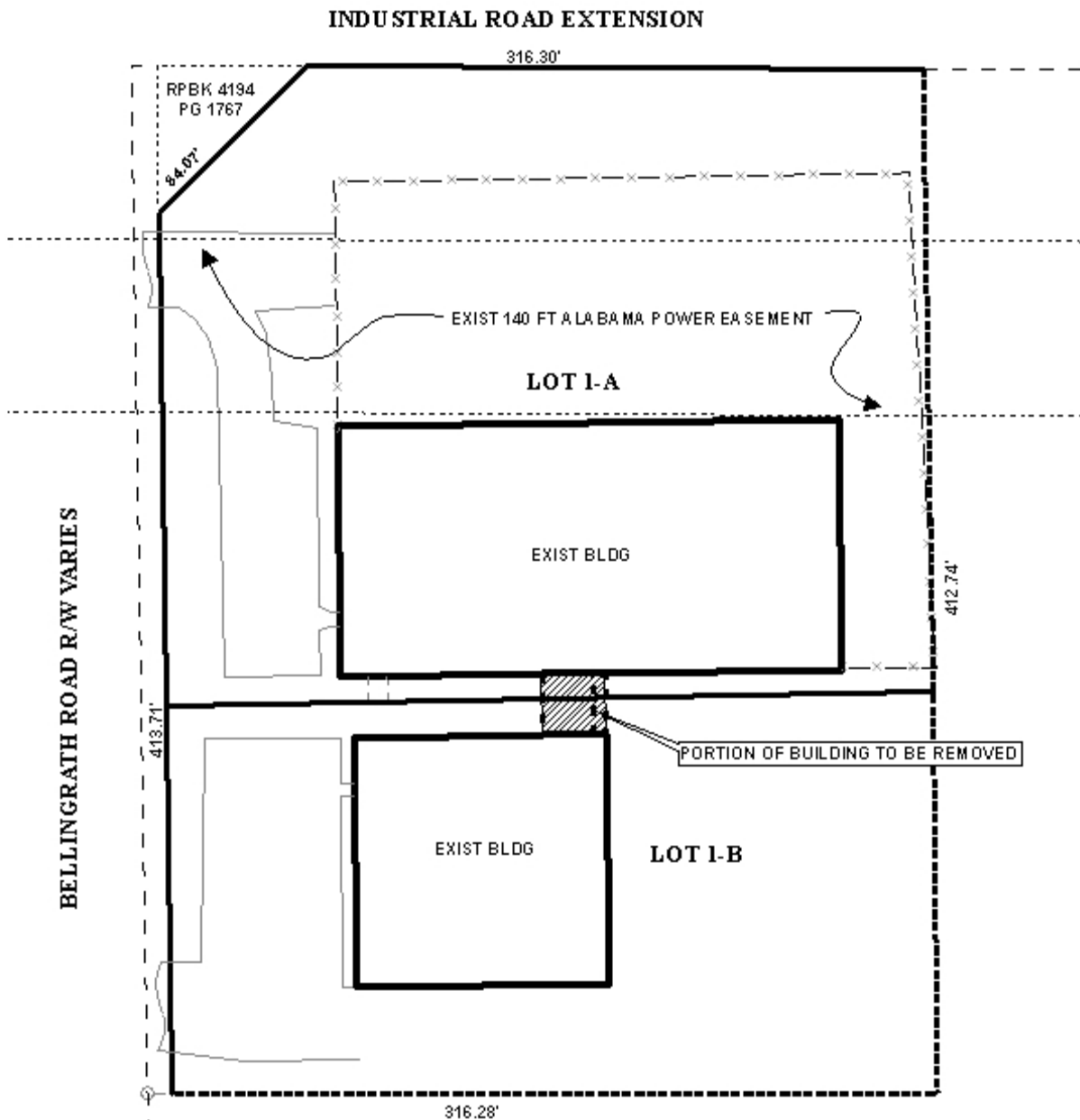
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APPLICATION NUMBER 6 DATE May 3, 2012



DETAIL SITE PLAN



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