

STEPHANIE OAKS SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 2-lot, 1.3± acre subdivision which is located on the East side of March Road, 560'± South of East Gulley Way. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by city water and individual septic systems. The purpose of this application is to create two legal lots of record from two metes-and-bounds parcels.

There is an existing manufactured home and a single-family residence located on the subject properties. The existing manufactured home currently straddles both the existing Parcels 1 and 2. The applicant is looking to relocate the interior lot line between the proposed Lots 1 and 2 23'± south of its current location in order to encompass the entire manufactured home within the proposed Lot 2. The single-family residence will continue to reside on the proposed Lot 1.

The proposed lots front March Road, a paved minor street without curb and gutter. As a paved minor street without curb and gutter, this street requires a 60' wide right-of-way width. The existing right-of-way width is depicted as 80' on the preliminary plat and should be retained on the Final Plat, if approved; thus, no dedication is required.

The 25-foot minimum building setback line is not indicated on the preliminary plat and should be revised on the Final Plat, if approved.

In accordance with Section V.D.2. of the Subdivision Regulations, the proposed lots exceed the 15,000 square foot minimum lot size requirement for lots served by public water and private sanitary sewer systems. The lot size information is depicted in both square feet and in acres on the preliminary plat and should be retained on the Final Plat, if approved.

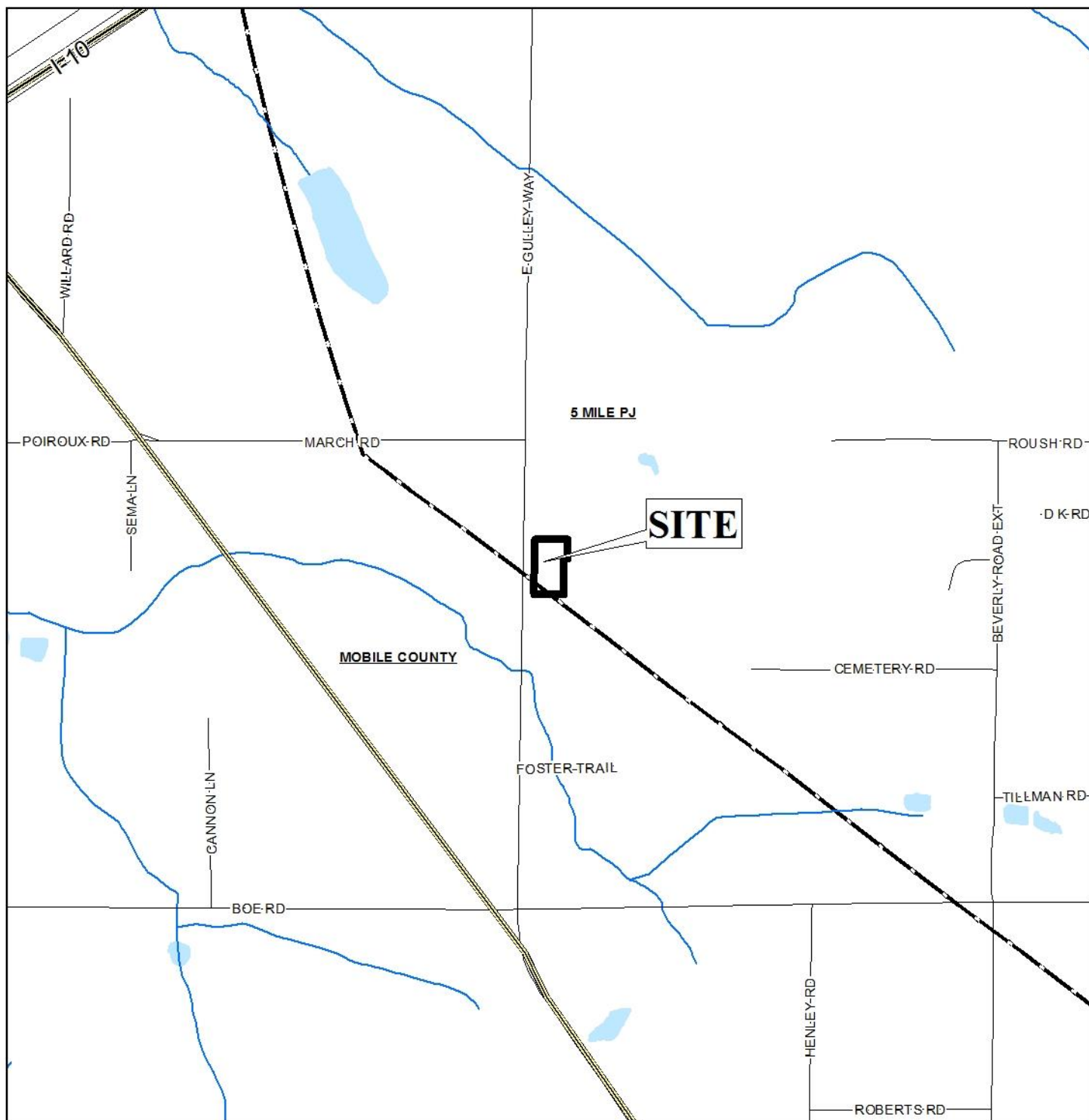
As a means of access management, a note should be placed on the Final Plat, if approved, stating that both Lots 1 and 2 are each limited to the existing curb cuts to March Road, with the size, design and location of the curb-cut to be approved by Mobile County Engineering and conform to AASHTO standards.

This site is located in the County; therefore, any lots which are developed commercially and adjoin residentially-developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

Based upon the preceding, this application is recommended for Tentative Approval subject to the following conditions:

- 1) Revision of the Final Plat to depict the 25-foot minimum building setback line for each lot;
- 2) Retention of the lot size information in both square and in acres on the Final Plat;
- 3) Placement of a note on the Final Plat stating that the proposed Lots 1 and 2 are each limited to the existing curb cuts to March Road, with the size, design and location of the curb-cut to be approved by Mobile County Engineering and conform to AASHTO standards;
- 4) Placement of a note on the Final Plat stating this site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 5) Compliance with Engineering Comments and placement as a note on the Final Plat: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.); and*
- 6) Compliance with Fire Comment: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).*

LOCATOR MAP



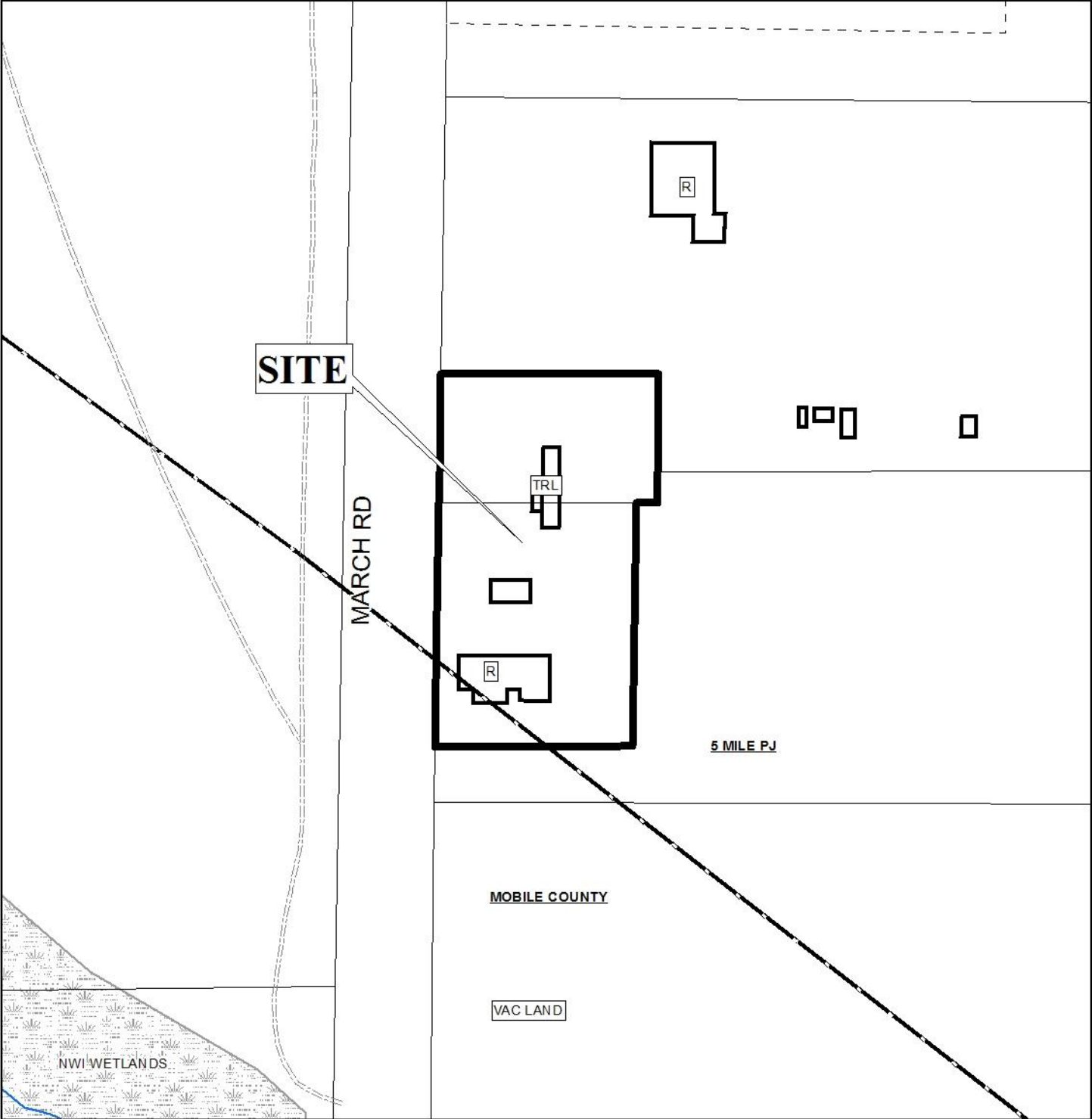
APPLICATION NUMBER 6 DATE May 5, 2016

APPLICANT Stephanie Oaks Subdivision

REQUEST Subdivision



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



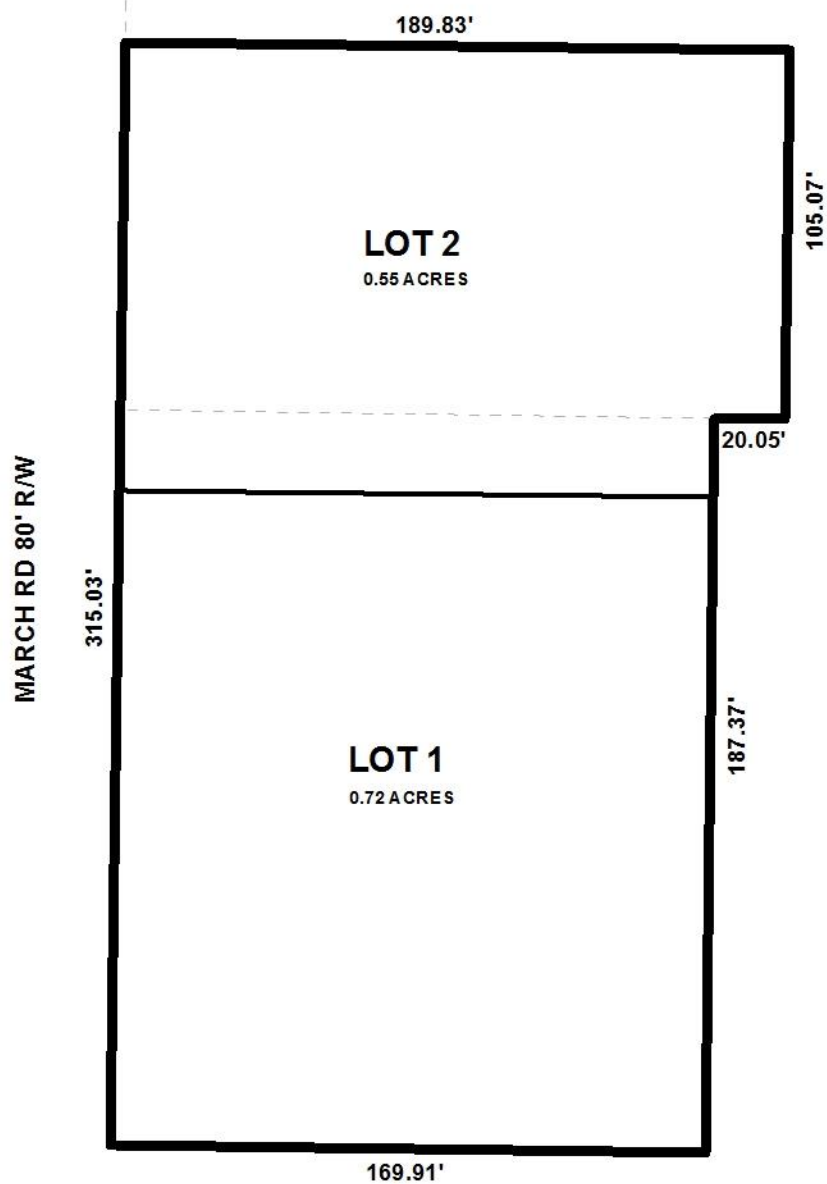
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DETAIL SITE PLAN



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