

SPRINGHILL ESTATES SUBDIVISION,
UNIT NUMBER ONE,
RESUBDIVISION OF A PORTION OF LOTS 14 & 15

Engineering Comments: Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit. The applicant is responsible for verifying if the site contains wetlands. The site can be checked against the National Wetlands Inventory on the COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands.

Traffic Engineering Comments: Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: No comments.

The plat illustrates the proposed 3 Lot / $0.8 \pm$ Acre subdivision which is located on the West side of Evergreen Road, $715' \pm$ North of Airport Boulevard, and is in Council District 5. The subdivision is served by both public water and sanitary sewer.

The site in question was the subject of a 4 lot subdivision and PUD request that was denied by the Planning Commission at its July 20, 2006 meeting. The denied application proposed lots 43.75 feet in width, with reduced side yard setbacks.

The site fronts Evergreen Road, a minor street lacking adequate right-of-way. Evergreen Road does not have curb and gutter, thus the right-of-way should be a minimum of 60 feet instead of the existing 40 feet. Sufficient right-of-way should be dedicated to provide 30 feet of right-of-way, as measured from the centerline of Evergreen Road.

Although Evergreen Road is a minor street, access management is a concern. Each lot should be limited to one curb-cut, with the size, design and location to be approved by Traffic Engineering and comply with AASHTO standards.

The applicant is seeking Subdivision approval to create three lots, each 58.33 feet in width. While the proposed lot widths will be less than the minimum 60-foot lot width required by Section V.D. of the Subdivision Regulations, they will exceed the minimum required lot size in terms of square feet (even with the required right-of-way dedication for Evergreen Road).

While not part of the Subdivision approval process, it should be noted that the applicant has stated that he will comply with the minimum front, side and rear setbacks required by the Zoning Ordinance for sites zoned R-1, Single-Family Residential. The applicant has, in fact, placed a

note on the plat indicating side yard setbacks that exceed those required by the Zoning Ordinance: it is recommended that the applicant revise the plat to remove the more restrictive side yard setback specification so that standard side yard setbacks may be applied (standard side yard total of 19.3 feet, with the minimum on one side of 8 feet, versus the applicant's proposed total of 19.44 feet, with a minimum of 8.33 feet on one side).

Properties adjacent to the site under consideration are developed with single-family residential homes on properties at least 60 feet in width. The lots proposed by this application will only minimally fall below the required lot width, thus a waiver of the lot width requirements of Section V.D. of the Subdivision Regulations may be appropriate.

With a waiver of the lot width requirements of Section V.D. of the Subdivision Regulations, this application is recommended for Tentative Approval, subject to the following conditions: 1) dedication of right-of-way sufficient to provide 30 feet, as measured from the centerline of Evergreen Road; 2) adjustment of the 25-foot minimum building setback line to reflect the right-of-way dedication; 3) placement of a note on the plat stating that each lot is limited to one curb-cut, with the size, design and location to be approved by Traffic Engineering and comply with AASHTO standards; 4) labeling of each lot with the total size in square feet; 5) depiction of the side yard setbacks on the plat, in addition to the existing side yard setback note; and 6) full compliance with all other municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 6 DATE September 7, 2006

APPLICANT Springhill Estates Subdivision, Unit One, Resubdivision of a Portion of Lots 14 & 15

REQUEST Subdivision



NTS

SPRINGHILL ESTATES SUBDIVISION, UNIT NUMBER ONE, RESUBDIVISION OF A PORTION OF LOTS 14 & 15



APPLICATION NUMBER 6 DATE September 7, 2006

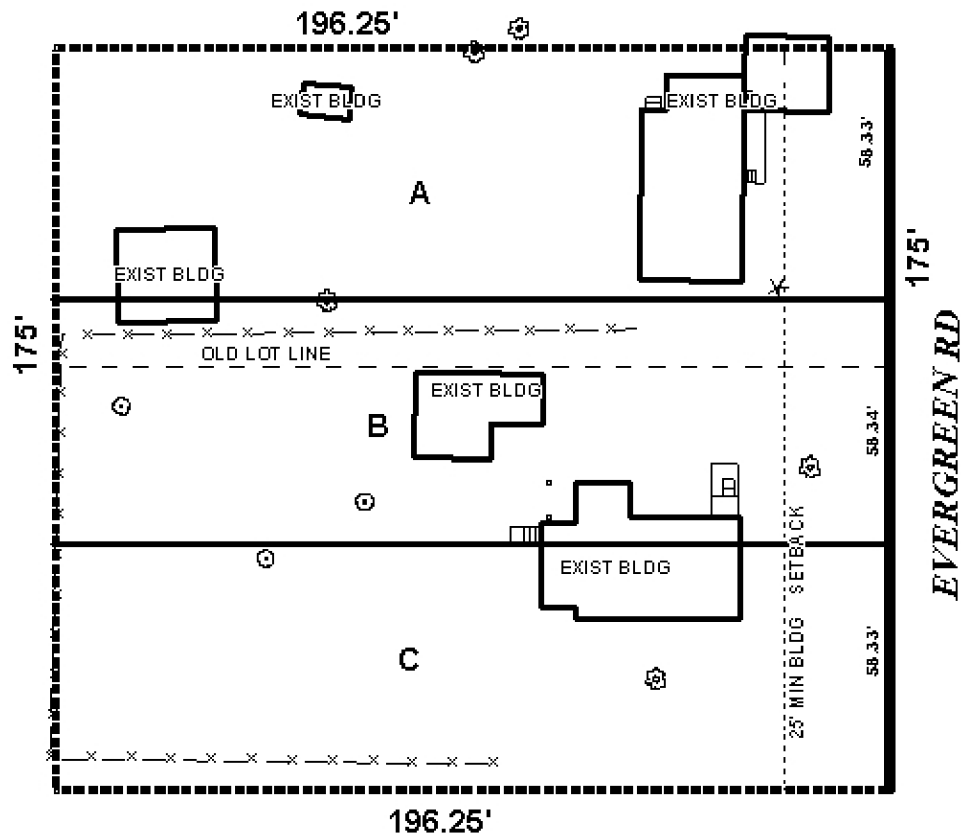
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



NTS

DETAIL SITE PLAN



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NTS