

**PUD &
SUBDIVISION STAFF REPORT****Date: February 19, 2004****DEVELOPMENT NAME** Springhill Apartments Subdivision**SUBDIVISION NAME** Springhill Apartments Subdivision

LOCATION **PUD:** Northwest corner of College Lane South and Du Rhu Drive, extending to the South side of South Avenue at the South terminus of McAlpine Drive
Subdivision: Northwest corner of College Lane South and Du Rhu Drive, extending to the South side of South Avenue at the South terminus of McAlpine Drive, and extending to the West side of West I-65 Service Road South, 300'± South of Springhill Business Park

PRESENT ZONING B-1, Buffer Business

AREA OF PROPERTY **PUD:** 13.4± Acres
Subdivision: 23.8± Acres 2 Lots

CONTEMPLATED USE Multiple Building on a Single Building Site (138 Unit, 23 building apartment complex)

TIME SCHEDULE Phase I (12 buildings, office, pool, support facilities, amenities and all site work) to begin in Fall 2004, with completion in Fall 2005. Phase II to be determined by market.

ENGINEERING
COMMENTS Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

TRAFFIC ENGINEERING
COMMENTS Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY
COMMENTS Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (City Code Chapters 57 and 64 and State Act 61-929).

REMARKS

The applicant is proposing a 23 building apartment complex with a total of 138 units. The site is currently zoned B-1, which allows multi-family residential development. PUD approval is required to allow multiple buildings and subdivision approval is required to allow reconfiguration/subdivision of the overall property as proposed.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

There were minor issues relating to building spacing and location of the compactor as proposed on the original plan submitted. The building location issues required only minor modifications to the plan, and have been addressed by the engineer. There are however, still issues relating to the location of the compactor.

As originally submitted, vehicles servicing the compactor would have blocked DuRhu Drive. The revised plan shifted the compactor, however, all maneuvering would still be in DuRhu Drive. Relocation of the compactor to provide all maneuvering on-site could easily be accomplished, and could be done in such a manner that would not significantly alter the site plan, and thus the Commission could allow the modification to be approved by staff.

The site appears to encompass a portion of DuRhu Drive right-of-way to the North of the main entrance to the development. This right-of-way contains drainage facilities; therefore, if vacated, appropriate easements would have to be granted.

With regard to access to the development, there are two primary access points proposed, one at DuRhu Drive and one at College Lane South, both of which are to be gated. A third access point is shown at South Avenue. This access point is labeled as "Fire Department Access Only" and is gated. Therefore, all resident and visitor access will be via DuRhu Drive or College Lane South.

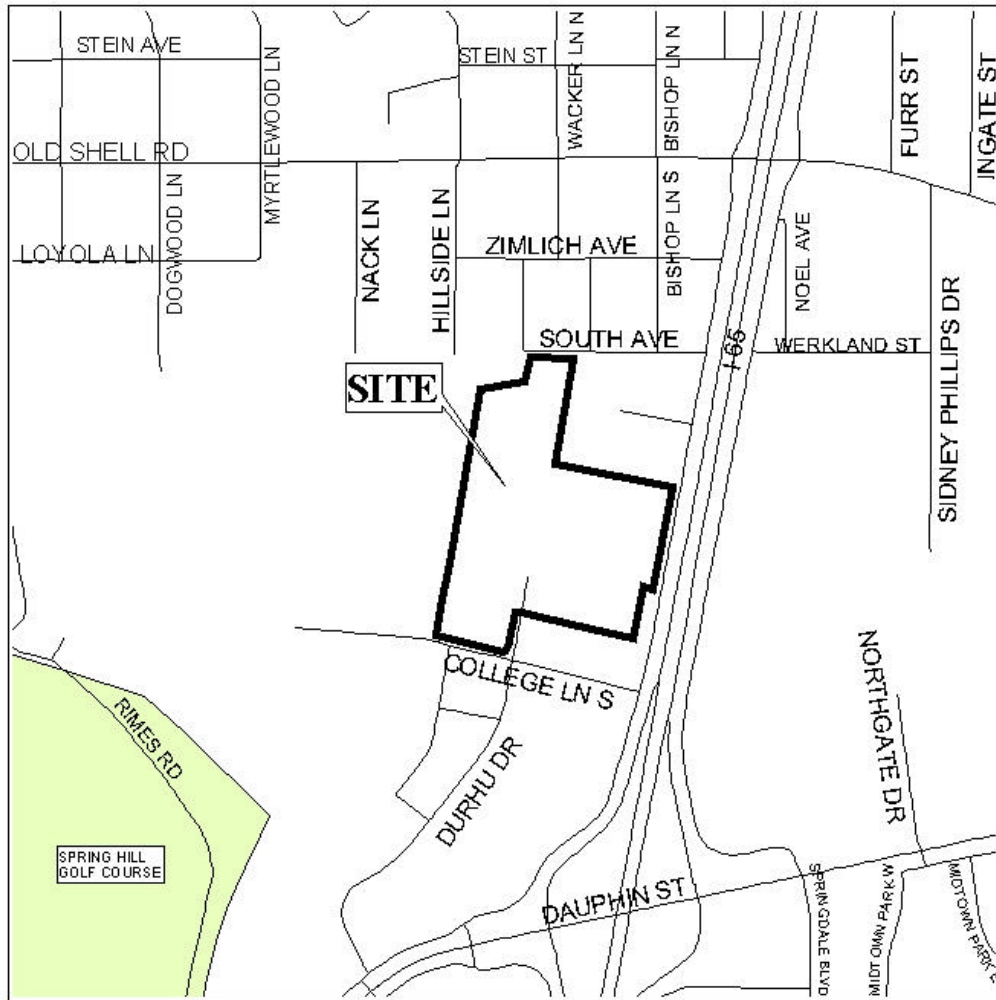
RECOMMENDATION

Planned Unit Development: based on the preceding, it is recommended that this application be approved subject to the following conditions: 1) vacation of the Northern portion of DuRhu Drive that is shown as part of the site, with appropriate drainage and utility easements granted; 2) relocation of the compactor to provide all maneuvering within the site, location and design to be approved by Urban Development; 3) provision of buffering (8' wooden privacy fence) where the site is adjacent to or across the street from single-family residential properties; 4) the

access to South Avenue remain as access for emergency vehicles only, and not for use by the residents or visitors; and 5) full compliance with all municipal codes and ordinances.

Subdivision: based on the preceding, the plat is recommended for Tentative Approval subject to the following conditions: 1) vacation of the Northern portion of DuRhu Drive that is shown as part of the site, with appropriate drainage and utility easements granted; and 2) relocation of the compactor to provide all maneuvering within the site, location and design to be approved by Urban Development.

LOCATOR MAP

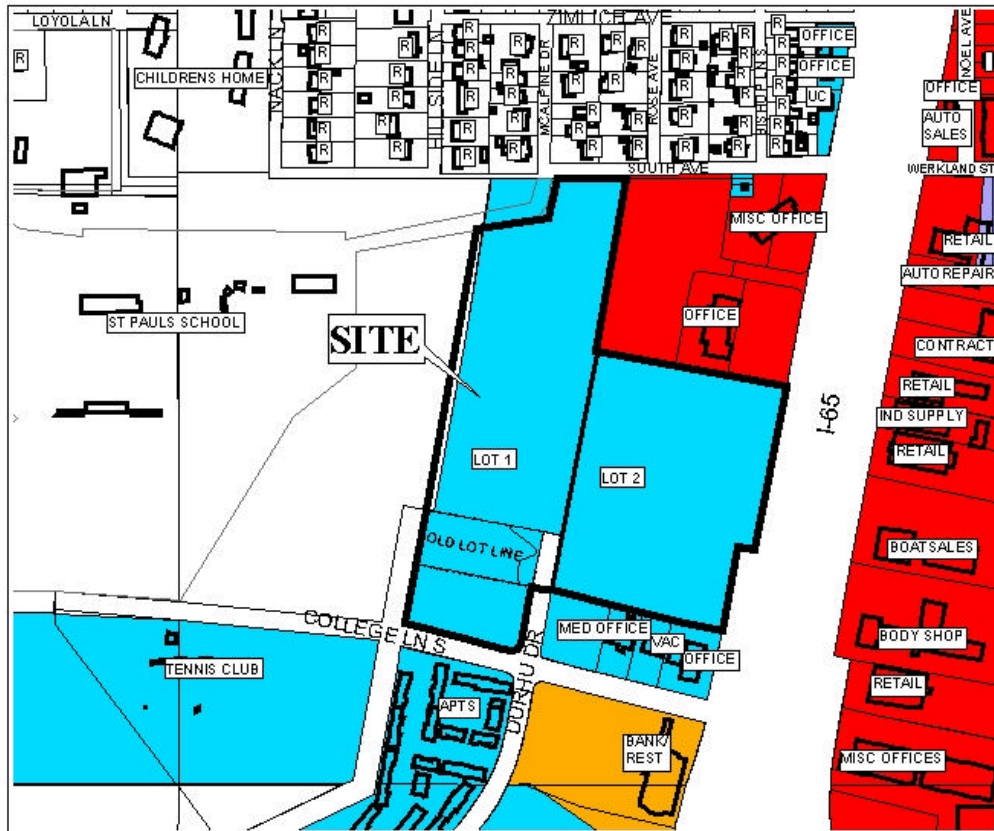


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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single-family residential units and offices are located to the north of the site. Commercial sites are located to the east and south of the site. Apartments are located to the south of the site and a school is located to the west of the site.

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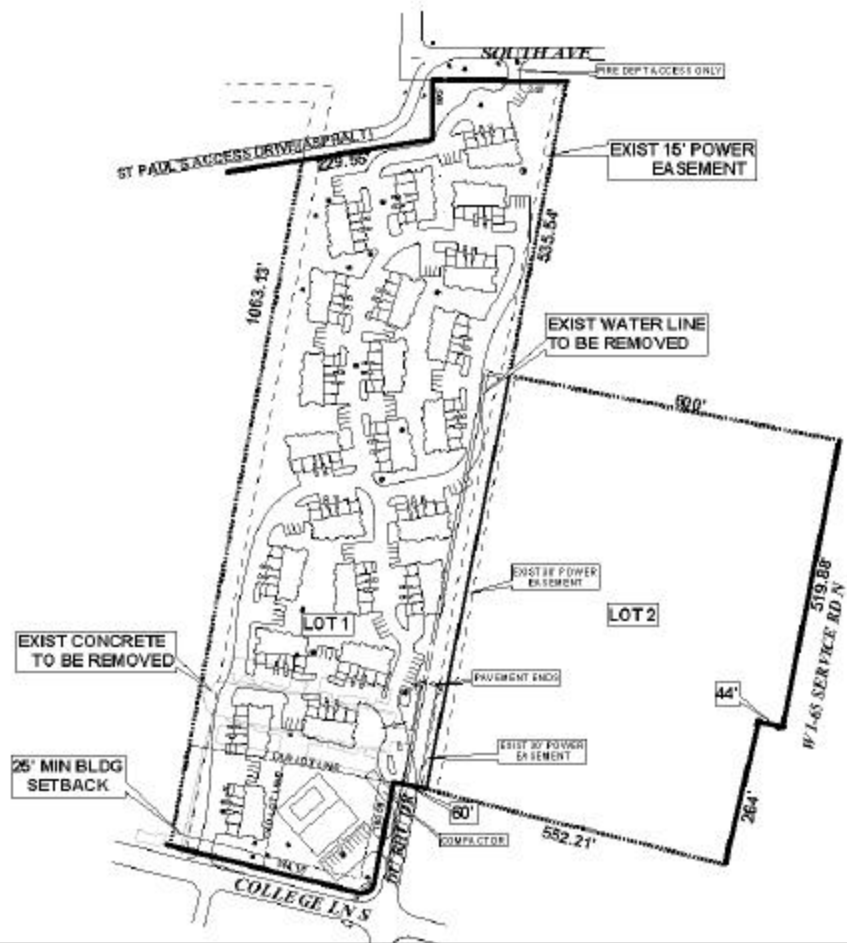
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LEGEND



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SITE PLAN

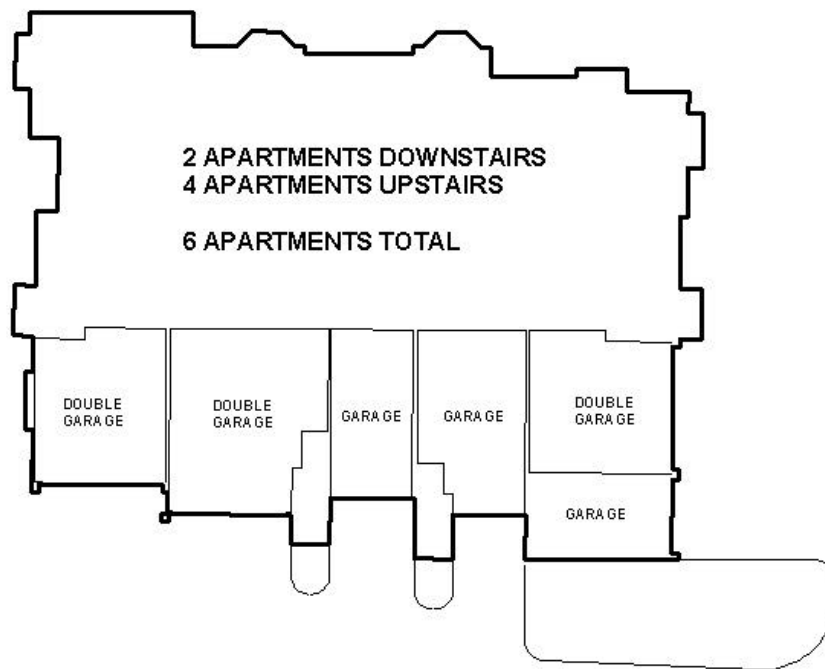


The site plan illustrates the existing easements, utility structure to be removed, concrete to be removed, proposed buildings, proposed parking and drives, and the proposed lot subdivision

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TYPICAL BUILDING DETAIL



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