

ROAN ESTATES SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction, fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: MAWSS has **no** water or sewer services available.

The plat illustrates the proposed 7-lot, 36.6± acres subdivision located on the South side of Ben Hamilton Road, extending to the West side of Airport Road, 3/10± mile South of Three Notch Kroner Road, within the planning jurisdiction. The applicant states that the subdivision is served by Mobile County Water and individual septic tanks.

The purpose of this application is to create seven (7) legal lots of record from one metes-and-bounds parcel.

Proposed Lots 1-4 have frontage on to Ben Hamilton Road, a minor street without curb and gutter requiring a 60' right-of-way; proposed Lot 5 has frontage on to Airport Road, a planned major street requiring 120' of right-of-way; and proposed Lots 6 and 7 have frontages on both Ben Hamilton Road and Airport Road. The preliminary plat illustrates adequate right-of-way along Ben Hamilton Road, but the plat should be revised to provide adequate dedication to provide dedication 60' from the centerline of Airport Road, as needed, to satisfy the intentions of the Major Street Plan.

Each lot meets the minimum size requirements of the Subdivision Regulations for lots served by public water and individual septic systems; however, the lot sizes are provided only in acres. As such, revision of the plat to illustrate the size of each lot in both square feet and acres should be required; or, a table illustrating the same information should be provided on the Final Plat, if approved.

With regards to access management, a note should be placed on the Final Plat, if approved, stating: Lots 1-4 are each limited to two curb cuts to Ben Hamilton Road; Lot 5 is limited to two curb cuts to Airport Road; and Lots 6 and 7 are each limited to two curb cuts to Ben Hamilton Road, and two curb cuts to Airport Road, with any changes in their sizes, locations, or designs, to be approved by County Engineering and conform to AASHTO standards.

The 25' minimum building setback line is not illustrated along any street frontages; therefore, the plat should be revised to illustrate the 25' minimum building setback line along all street frontages, adjusted for any additional dedication(s), if approved.

A 10' utility easement is illustrated between proposed Lots 4, 5 and 6; therefore, if approved, a note should be required on the Final Plat stating no structures may be built in any easement.

Wetlands have been identified between proposed Lots 1 and 2, and along the southern portions of Lots 2-5; and, as such, may indicate the area is environmentally sensitive. Therefore, approval from all applicable federal, state, and local agencies may be required prior to the issuance of any permits or land disturbance activities.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should also appear on the Final Plat, if approved.

Finally, the site will have to comply with the City of Mobile storm water and flood control ordinances. A note stating: *"Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits."* should be placed on the Final Plat.

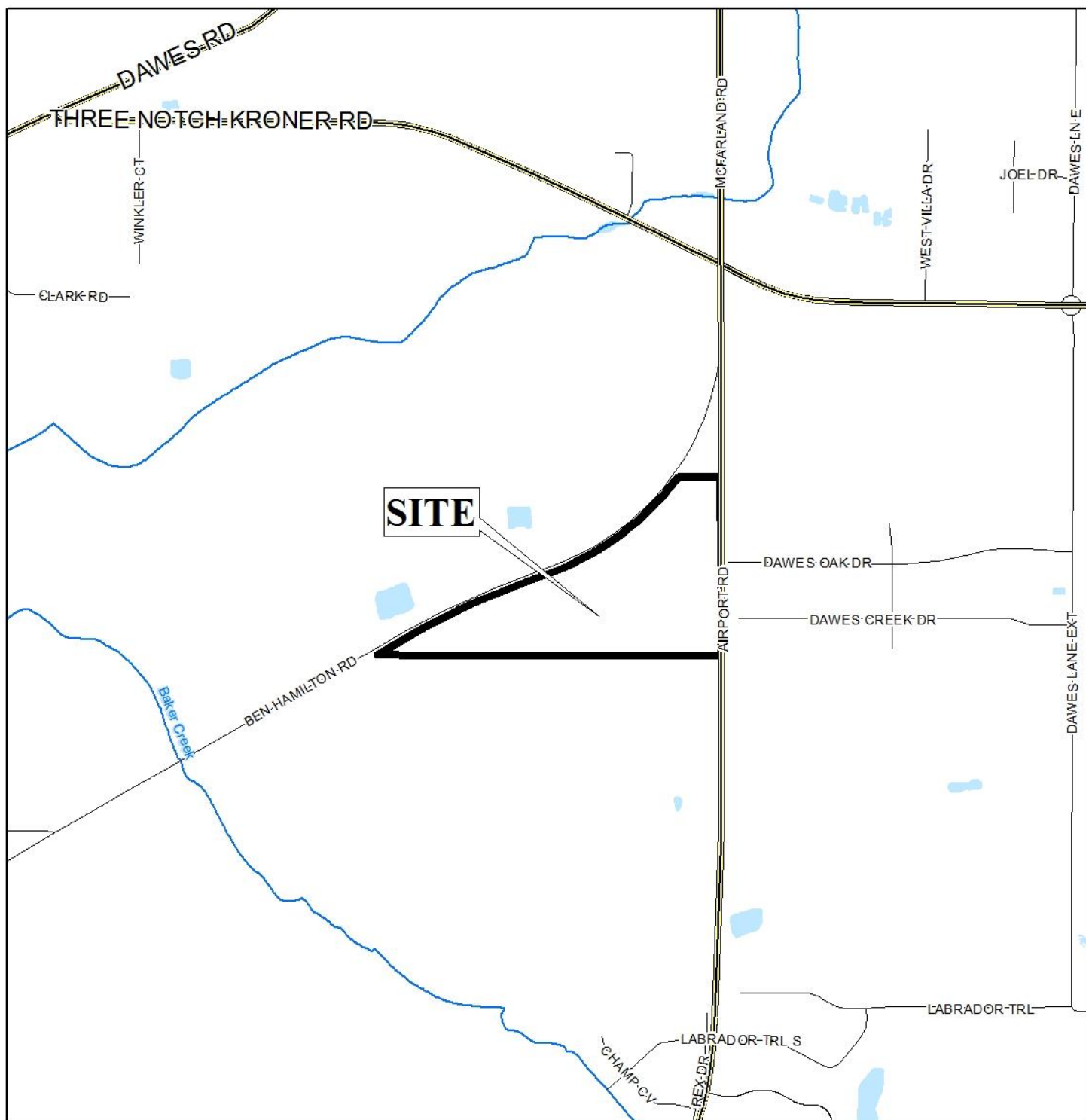
Based upon the preceding, this application is recommended for Tentative Approval subject to the following conditions:

- 1) revision of the plat to illustrate, where necessary, dedication to provide 30' from the centerline of Airport Road;
- 2) revision of the plat to illustrate the lot sizes of each lot in square feet and acres on the, or the furnishing of a table on the Final Plat providing the same information;
- 3) placement of a note on the Final Plat stating: Lots 1-4 are each limited to two curb cuts to Ben Hamilton Road; Lot 5 is limited to two curb cuts to Airport Road; and Lots 6 and 7 are each limited to two curb cuts to Ben Hamilton Road, and two curb cuts to Airport Road, with any changes in their sizes, locations, or designs, to be approved by County Engineering and conform to AASHTO standards;
- 4) revision of the plat to illustrate the 25-foot minimum building setback line along all street frontages;
- 5) placement of a note on the Final Plat stating no structures may be built in any easement;
- 6) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 7) placement of a note on the Final Plat to comply with the Mobile County storm water and flood control ordinances: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility*

requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.); and,

- 8) compliance with Fire Department comments: *(Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction, fall under the State or County Fire Code (2012 IFC).).*

LOCATOR MAP



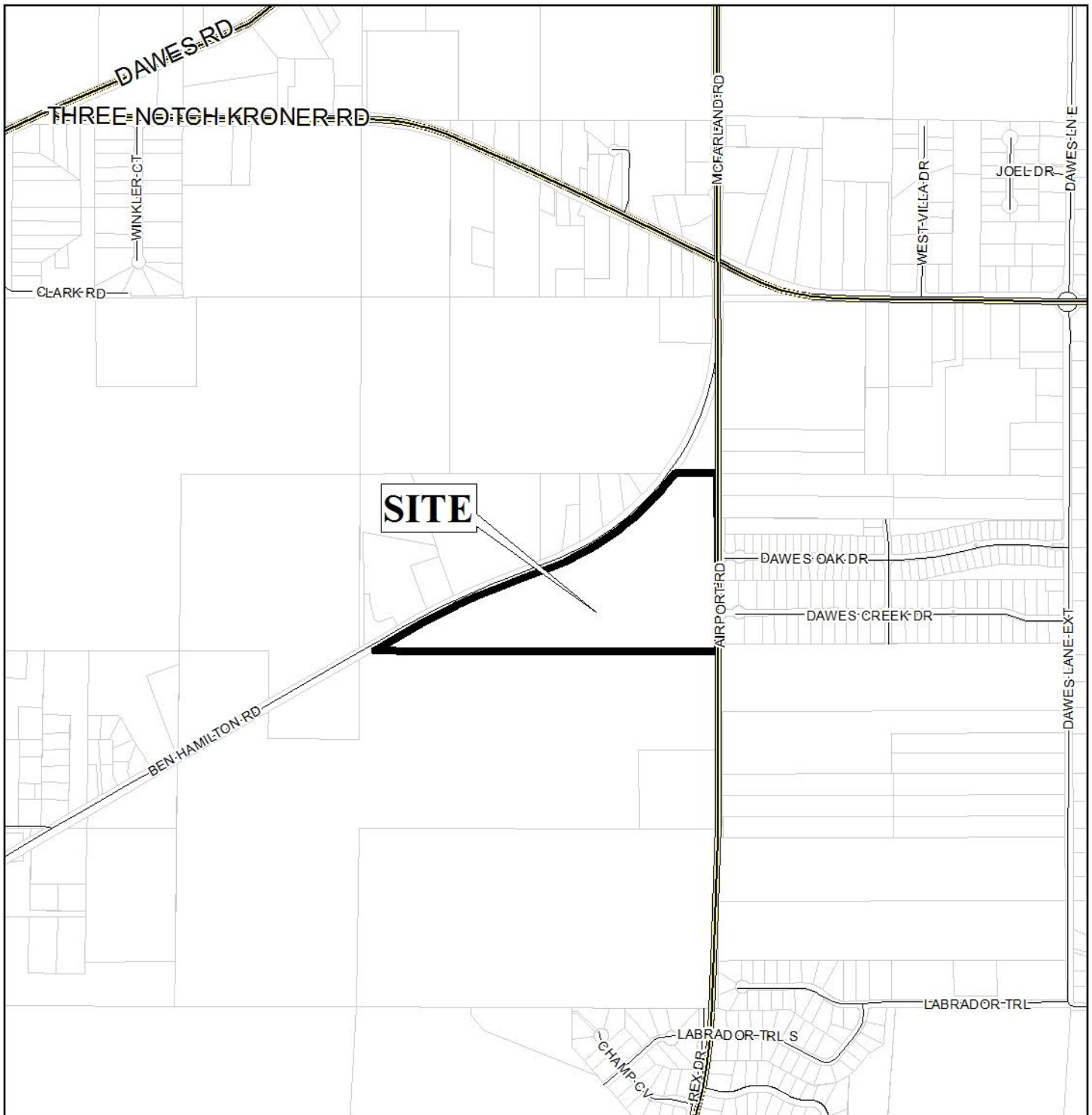
APPLICATION NUMBER 6 DATE March 23, 2017

APPLICANT Roan Estates Subdivision

REQUEST Subdivision



LOCATOR ZONING MAP



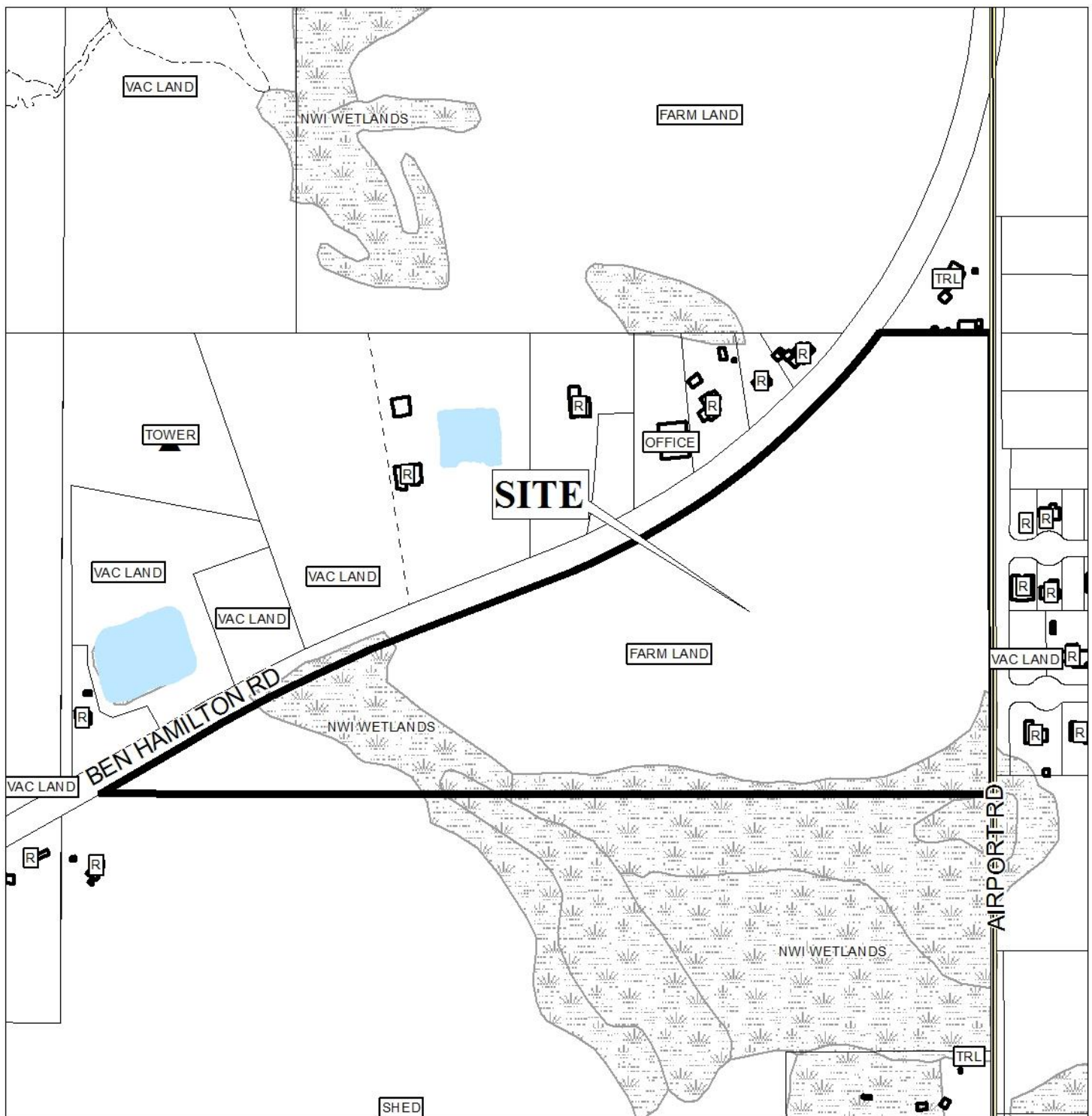
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APPLICANT Roan Estates Subdivision

REQUEST Subdivision



ROAN ESTATES SUBDIVISION

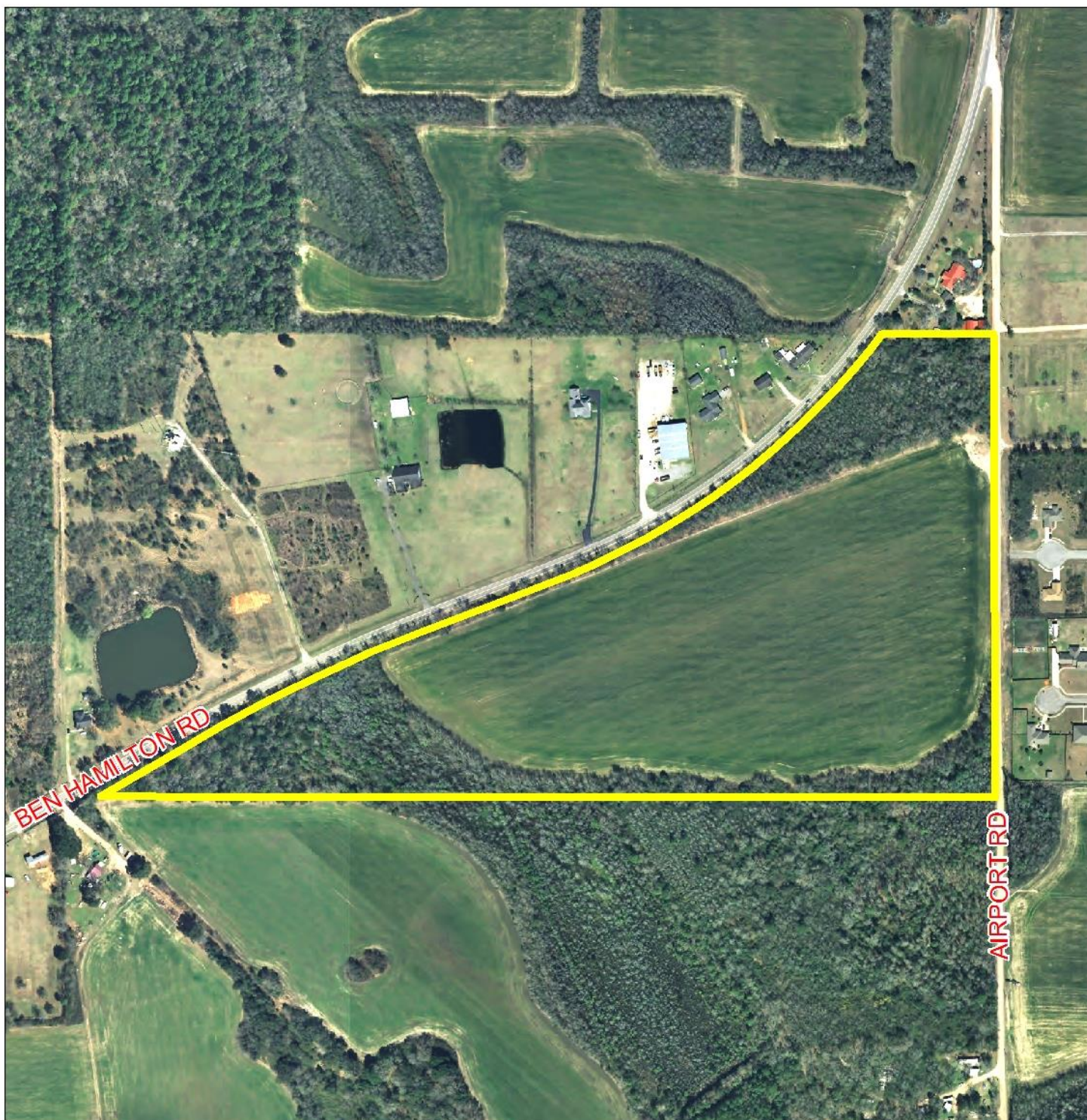


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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



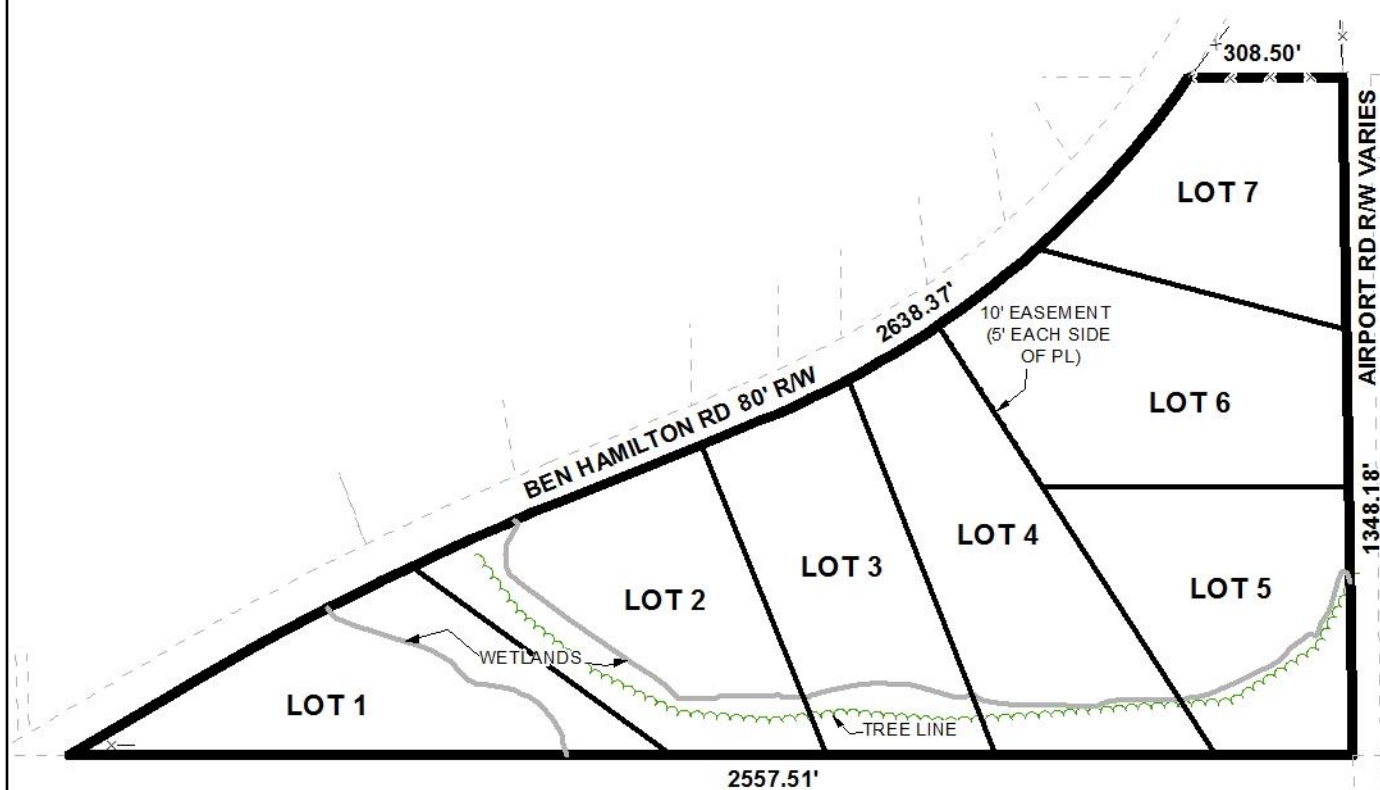
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DETAIL SITE PLAN



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REQUEST Subdivision

