

SIDEWALK WAIVER REQUEST STAFF REPORT**Date: March 5, 2009****NAME**

Renwick Burroughs

LOCATION2700 Springhill Avenue
(Northwest corner of Springhill Avenue and Mobile Street)**PRESENT ZONING**

B-3, Community Business District

ENGINEERING**COMMENTS**

Recommend denial of application. Property Owner will be required to provide a sidewalk easement of sufficient width to allow for placement of sidewalk. Since removal of the curb cut on Mobile Street is required, then a City standard sidewalk is constructible.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

REMARKS

The applicant is requesting a waiver of the sidewalk construction requirements along Mobile Street. The applicant is requesting a sidewalk waiver because it cannot physically be constructed between the back of curb and the right-of-way.

When this site came under review in September 2008 for subdivision and Planned Unit Development, curbing was specifically addressed; no curb currently exists. In fact, the Commission limited the site to one curb cut to Mobile Street (at the Northeast corner of the site) and required the applicant to eliminate of the continuous curb cut along Mobile Street. The closing of the continuous curb cut should provide adequate room for a sidewalk.

Comments from City Engineering indicate that the request for a sidewalk waiver should be denied.

RECOMMENDATION

Based on the preceding, it is recommended that this sidewalk waiver request be denied.

LOCATOR MAP



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APPLICANT Renwick Burroughs Subdivision

REQUEST Sidewalk Waiver



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surround by commercial land use with residential land to the north.
See detail site plan for sidewalk crossection.

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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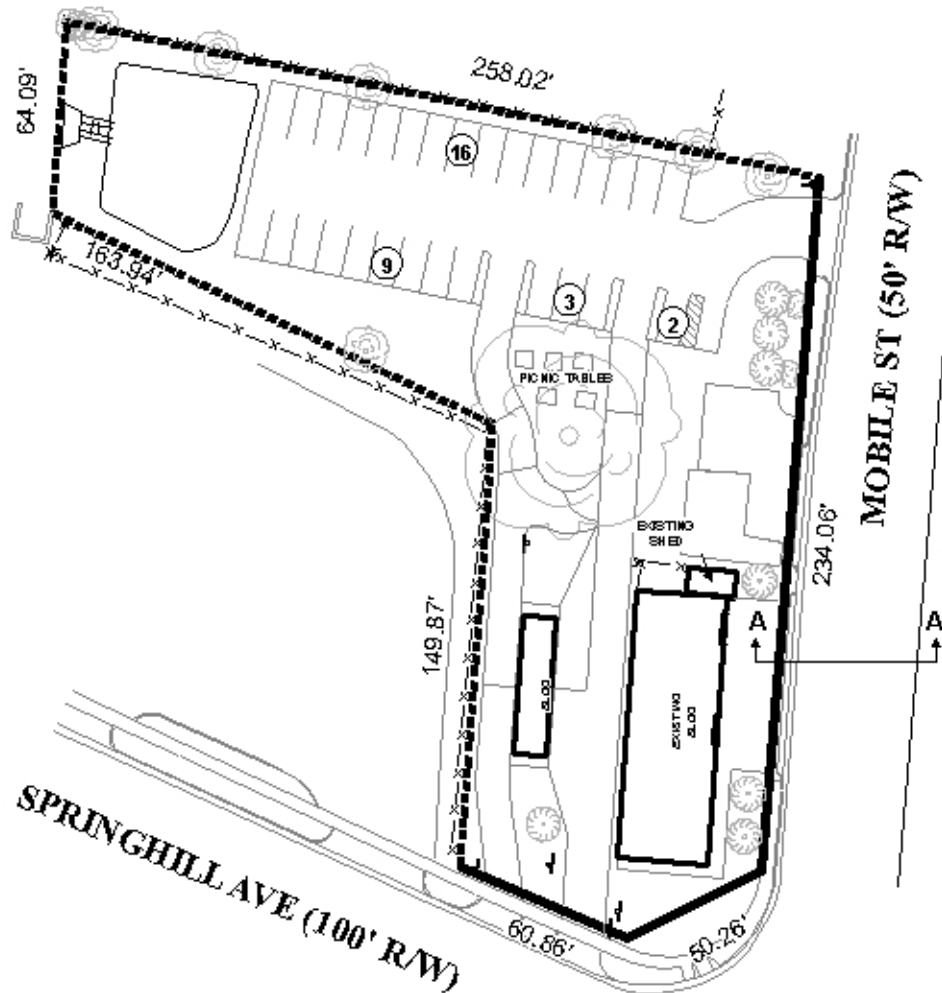
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N
NTS

SITE PLAN



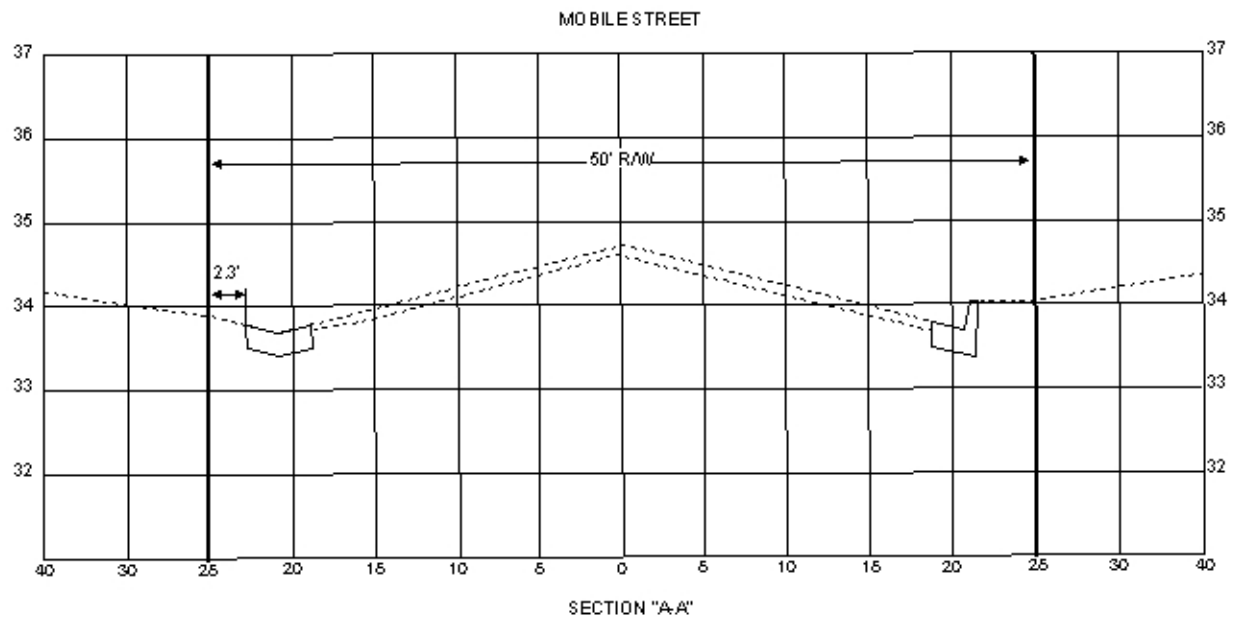
This site plan illustrates the existing lot configuration.
See detail site plan for side walk crosssection of "A-A".

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SIDEWALK CROSS-SECTION



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