

RANCHO APARTE SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 2-lot, 5.1± acre subdivision which is located on the West side of Clearview Drive, 85'± South of Middle Ring Road, extending to the East side of Clarendon Drive, 85'± South of Middle Ring Road. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by public water and sewer systems. The purpose of this application is to create two legal lots of record from one metes-and-bounds parcel.

The proposed lots front both Clearview Drive and Clarendon Drive. Clearview Drive is a minor street with ribbon curb and gutter. As a minor street with ribbon curb and gutter, this street requires a minimum right-of-way width of 50'. Clarendon Drive is also a minor street; however, it is without curb and gutter. As a minor street without curb and gutter, this street requires a 60' wide right-of-way width. The existing right-of-way widths are depicted as 50' and 60', respectively, on the preliminary plat and should be retained on the Final Plat, if approved.

The preliminary plat depicts two proposed lots, each labelled as "Lot 1." The plat should be revised to differentiate the names of each lot.

Currently, there is a manufactured home located on the proposed east Lot 1 along Clearview Drive, and vacant land on the proposed west Lot 1 along Clarendon Drive.

The existing parcel is irregular-shaped in its current configuration, as the parcel exceeds the width to depth ratio of Section V.D.3. of the Subdivision Regulations. The proposed lot configurations still create irregular-shaped lot conditions in which the proposed west Lot 1 along Clarendon Drive forms a "panhandle" or "flag lot" shape. "Panhandle" or "flag lot" shaped lots are generally not allowed, but permitted only in those locations where varied and irregularly shaped lot designs are common and the informality of design is consistent with other lots in the vicinity; or where unusual circumstances such as an odd shaped lot exists; or separate disparate uses exist on a single lot; or where there are natural or pre-existing man-made barriers which may cause an undue hardship on the land owner; or in the case of a family division. There are no flag lots located within the immediate vicinity of the proposed lots; however, due to unusual

circumstances and existing irregularities in the current parcel configuration caused by a previous requirement for a proposed major street, since removed from the Major Street Plan, a waiver of Section V.D.1. may be appropriate.

The 25-foot minimum building setback line is depicted on the preliminary plat, and, if approved, should be retained on the Final Plat.

The lot size information is depicted in both square feet and in acres on the preliminary plat and should be retained on the Final Plat, if approved. The lots meet the minimum lot size requirements for sites served by public water and sewer.

As a means of access management, a note should be placed on the Final Plat, if approved, stating that east Lot 1 is limited to one curb cut to Clearview Drive, and that the other west Lot 1 is limited to one curb cut to Clarendon Drive, with any changes to the size, design and location of the curb-cut to be approved by Mobile County Engineering and conform to AASHTO standards.

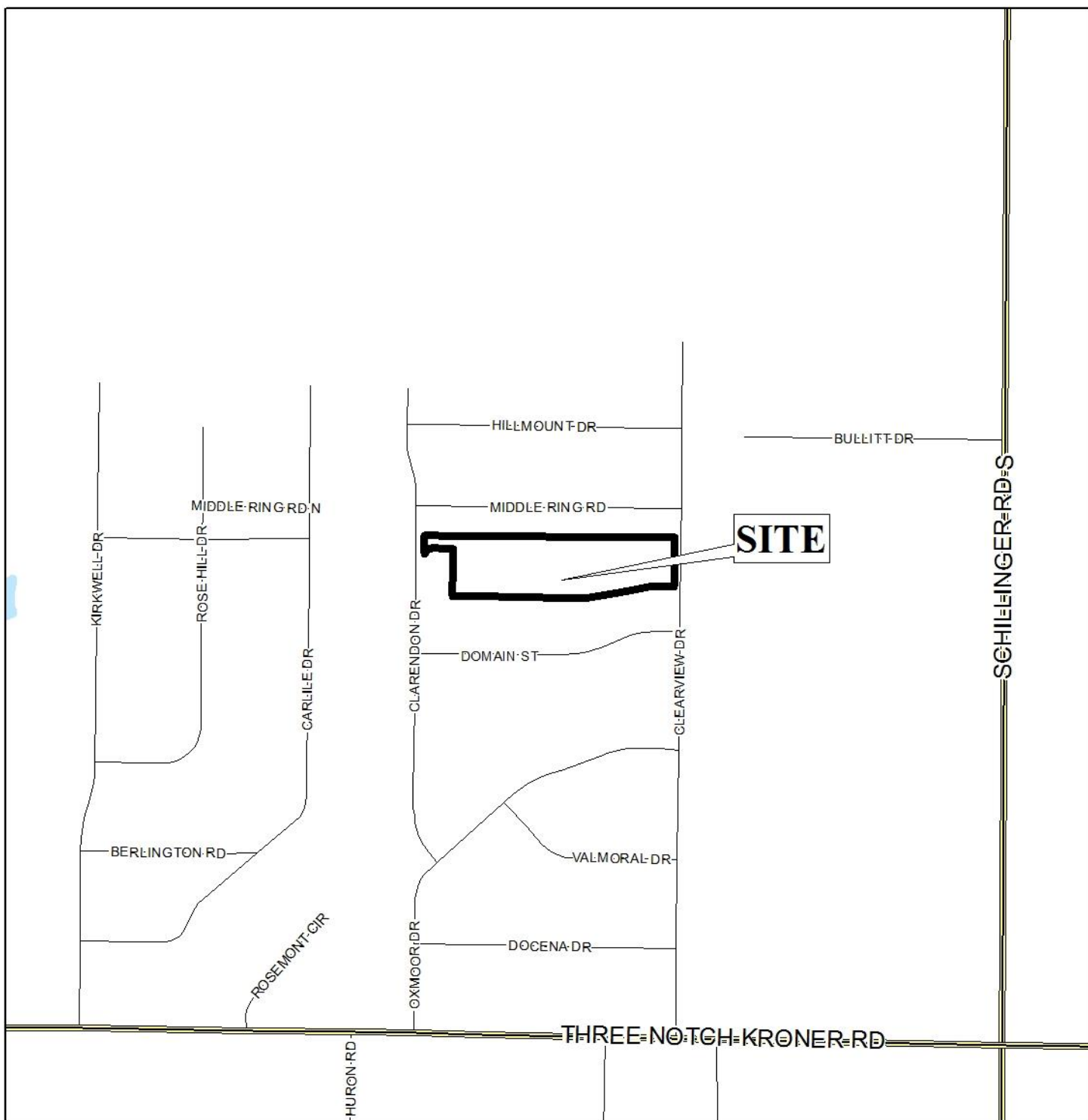
This site is located in the County; therefore, any lots which are developed commercially and adjoin residentially-developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

Based upon the preceding and with a waiver of Section V.D.1. of the Subdivision Regulations, this application is recommended for tentative Approval, subject to the following conditions:

- 1) Renaming of the lots so that each lot has a unique name; i.e., "Lot 1" and "Lot 2;"
- 2) Retention of the 50' wide right-of-way width along Clearview Drive;
- 3) Retention of the 60' wide right-of-way width along Clarendon Drive
- 4) Retention of the 25-foot minimum setback lines along both Clearview Drive and Clarendon Drive;
- 5) Retention of the lot size information in both square feet and in acres;
- 6) Placement of a note on the Final Plat stating that east Lot 1 is limited to one curb cut to Clearview Drive, and that the other west Lot 1 is limited to one curb cut to Clarendon Drive, with any changes to the size, design and location of the curb-cut to be approved by Mobile County Engineering and conform to AASHTO standards;
- 7) Placement of a note on the Final Plat stating this site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 8) Compliance with Engineering comments and placement of a note: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);and,*
- 9) Compliance with Fire Department comments and placement of a note *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of*

Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC)).

LOCATOR MAP



APPLICATION NUMBER 6 DATE October 19, 2017

APPLICANT Rancho Aparte Subdivision

REQUEST Subdivision



LOCATOR ZONING MAP



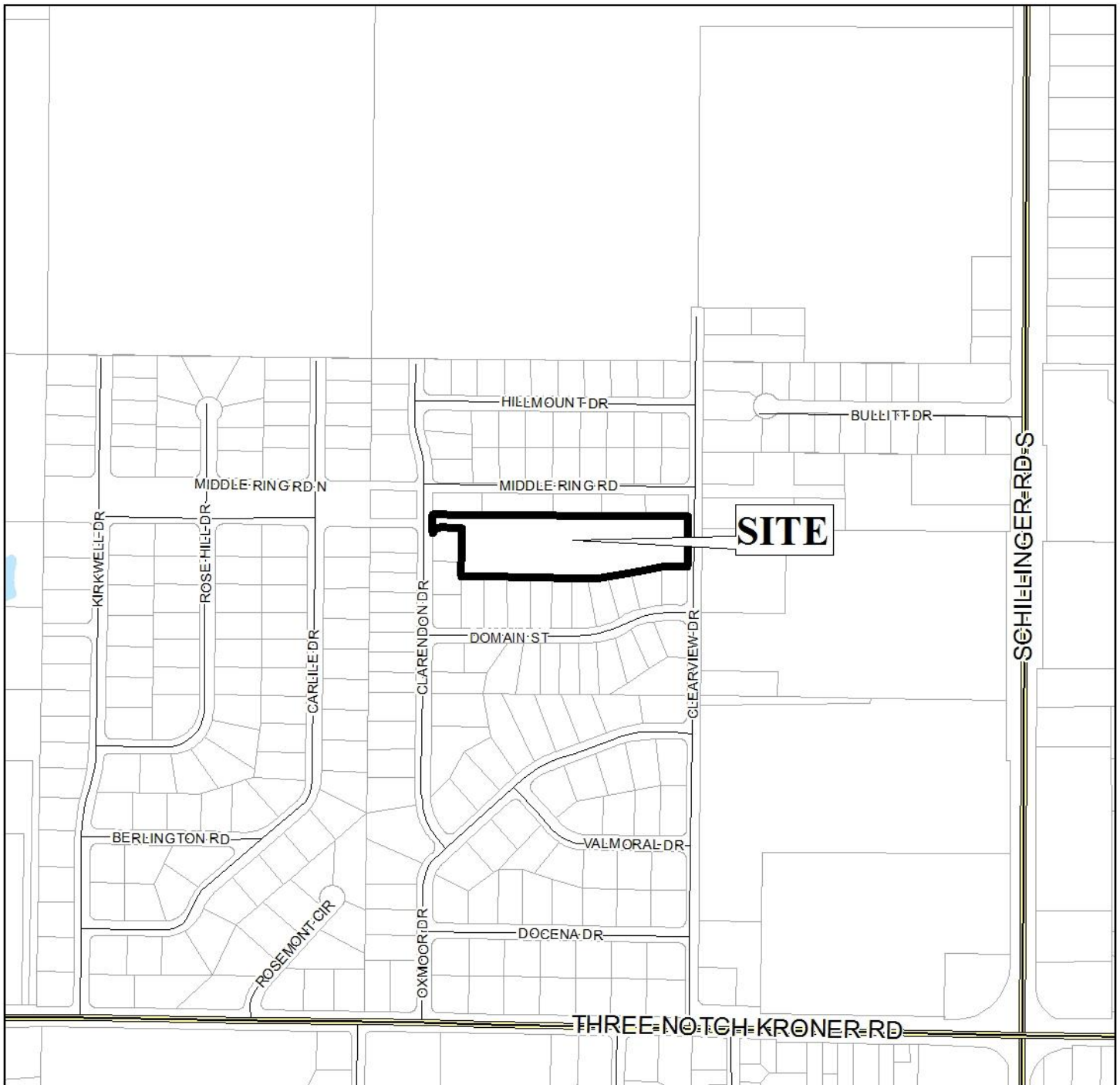
APPLICATION NUMBER 6 DATE October 19, 2017

APPLICANT Rancho Aparte Subdivision

REQUEST Subdivision



FLUM LOCATOR MAP



APPLICATION NUMBER 6 DATE October 19, 2017

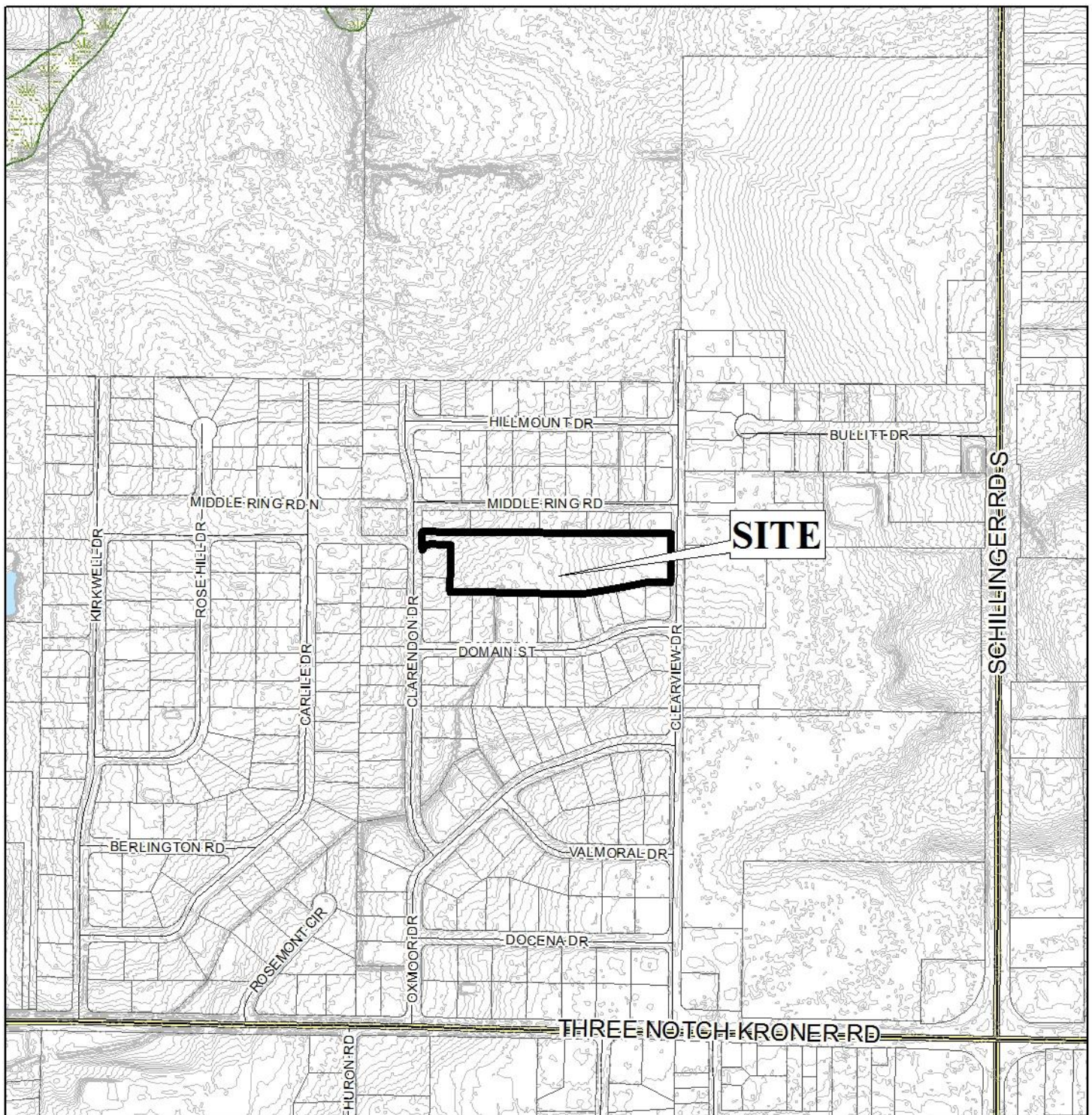
APPLICANT Rancho Aparte Subdivision

REQUEST Subdivision

Low Density Residential	Neighborhood Center- Traditional	Downtown Waterfront	Water Dependent
Mixed Density Residential	Traditional Corridor	Light Industry	Parks & Open Space
Downtown	Neighborhood Center- Suburban	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 6 DATE October 19, 2017

APPLICANT Rancho Aparte Subdivision

REQUEST Subdivision



RANCHO APARTE SUBDIVISION

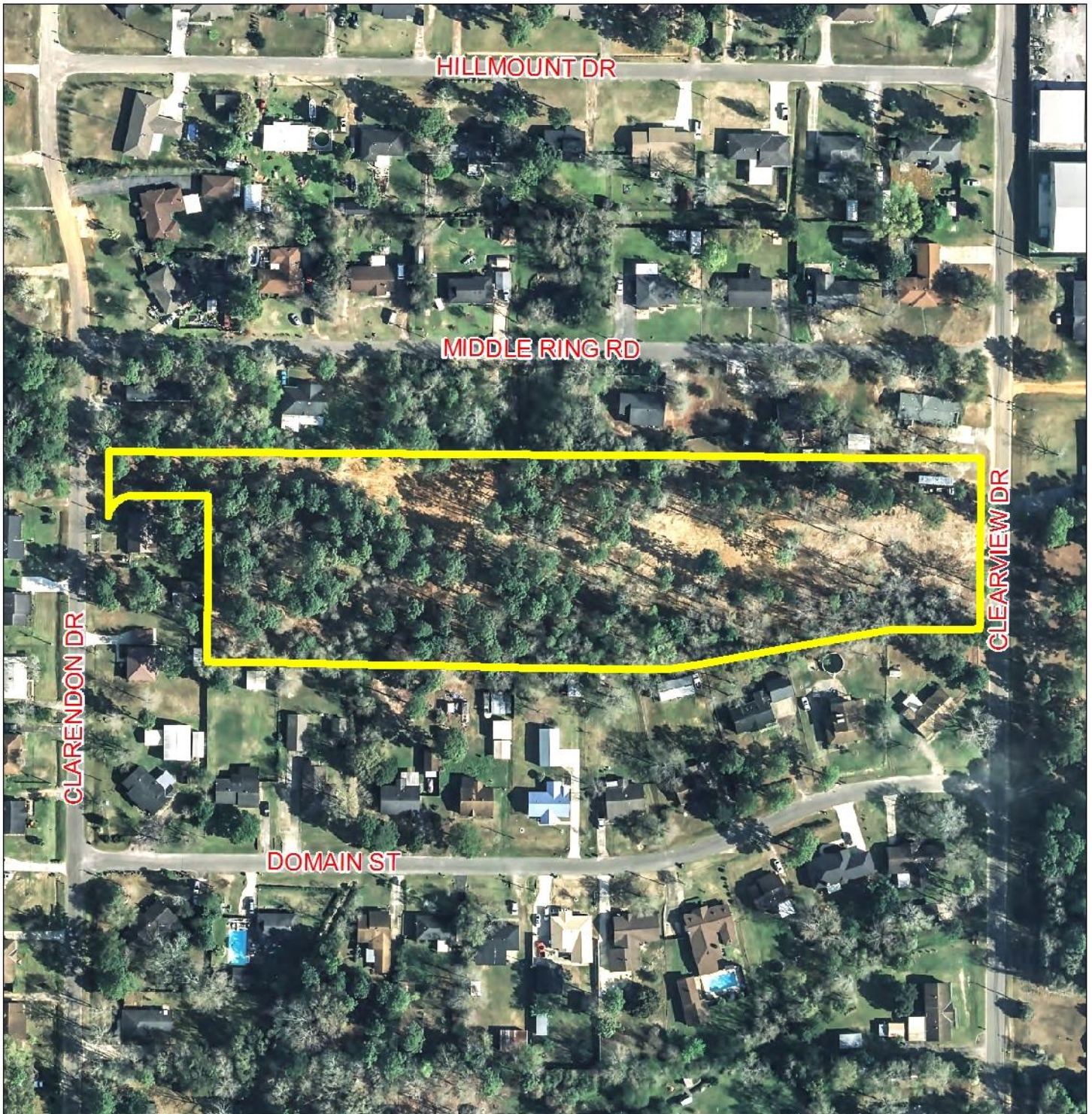


APPLICATION NUMBER 6 DATE October 19, 2017

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



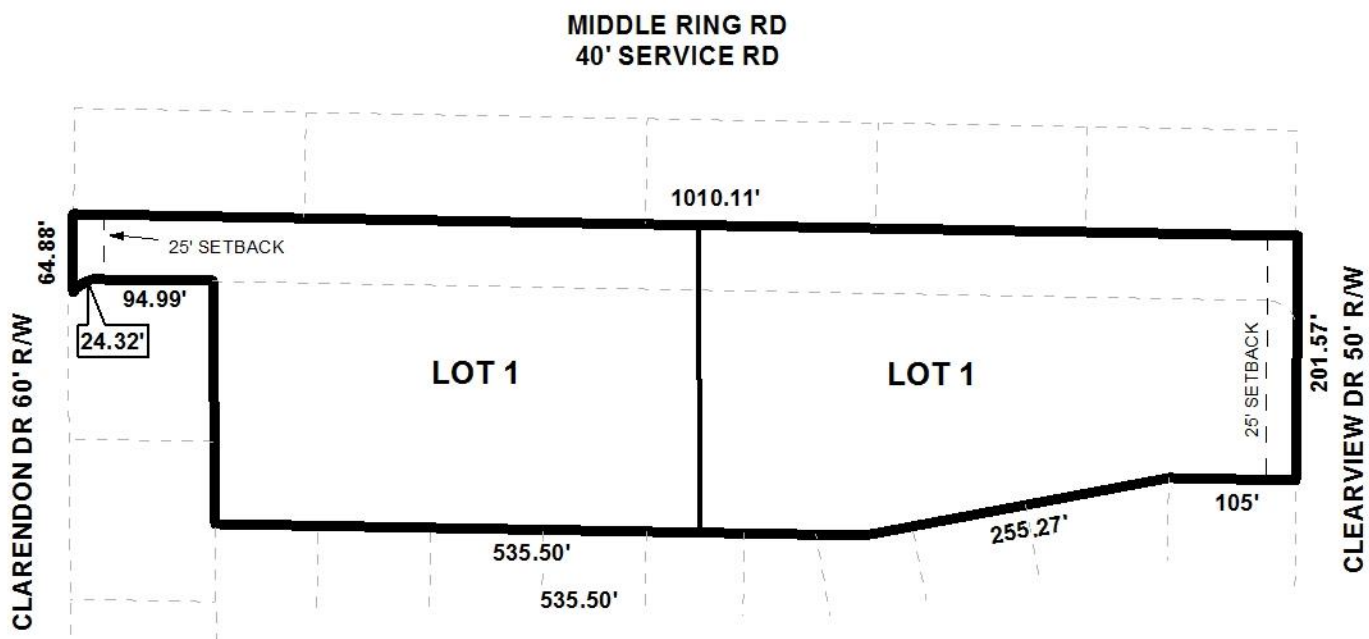
RANCHO APARTE SUBDIVISION



APPLICATION NUMBER 6 DATE October 19, 2017



DETAIL SITE PLAN



APPLICATION NUMBER 6 DATE October 19, 2017

APPLICANT Rancho Aparte Subdivision

REQUEST _____ Subdivision _____



NTS