

PURNELL SUBDIVISION

Engineering Comments: Storm water must tie to a City of Mobile storm drainage system; storm water cannot be concentrated onto an adjacent property owner without a hold harmless agreement or drainage easement.

Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: No comments.

The plat illustrates the proposed 4.0 acre \pm , 2 lot subdivision which is located on the East side of Wilkins Road, 485' \pm North of Moffett Road, and is in Council District 1. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to subdivide a parcel into two legal lots of record.

The site fronts onto Wilkins Road, a minor street lacking curb and gutter. The existing right-of-way for Wilkins Road is 50-feet, which is less than the 60-feet required for roads lacking curb and gutter. Therefore, the 25-foot minimum building setback line should be adjusted to reflect a right-of-way edge as measured 30 feet from the centerline of Wilkins Road.

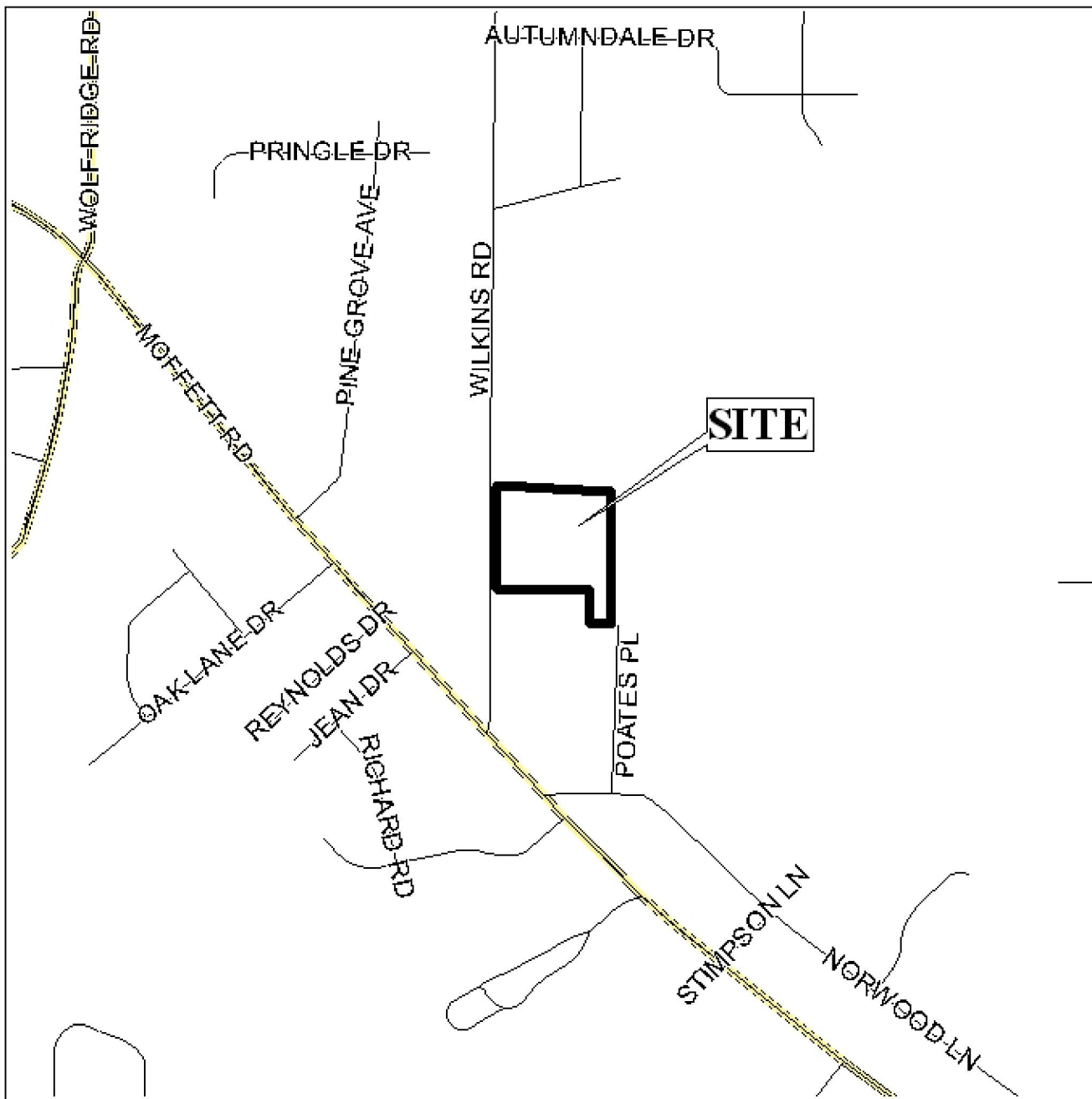
While Wilkins Road is a minor street, access management is a concern. Proposed lot 1 should be limited to one curb-cut, and proposed lot 2 should be limited to two curb-cuts, with the size, design and location to be approved by Traffic Engineering and comply with AASHTO standards.

The proposed lot 1 will exceed the depth to width ratio recommended in Section V.D.3. of the Subdivision Regulations, however, a waiver may be appropriate due to the unusual shape of the parent parcel. Further subdivision of lot 1 should be denied until additional frontage on a public street is provided.

With a waiver of Section V.D.3., the plat is recommended for Tentative Approval, subject to the following conditions: 1) provision of additional setback sufficient to provide 30-feet, as measured from the centerline of Wilkins Road, and adjustment of the 25-foot minimum building setback line to account for the future right-of-way edge; 2) placement of a note on the plat stating that lot 1 is limited to one curb-cut, that lot 2 is limited to two curb-cuts, and that the size, design and location of all curb-cuts must be approved by Traffic Engineering and comply with AASHTO standards; 3) placement of a note on the plat stating that there shall be no future

subdivision of lot 1 until additional frontage on a public street is provided; 4) labeling of each lot with its size in square feet, or provision of a table on the plat with the same information; and 5) full compliance with all other municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 6 DATE November 16, 2006

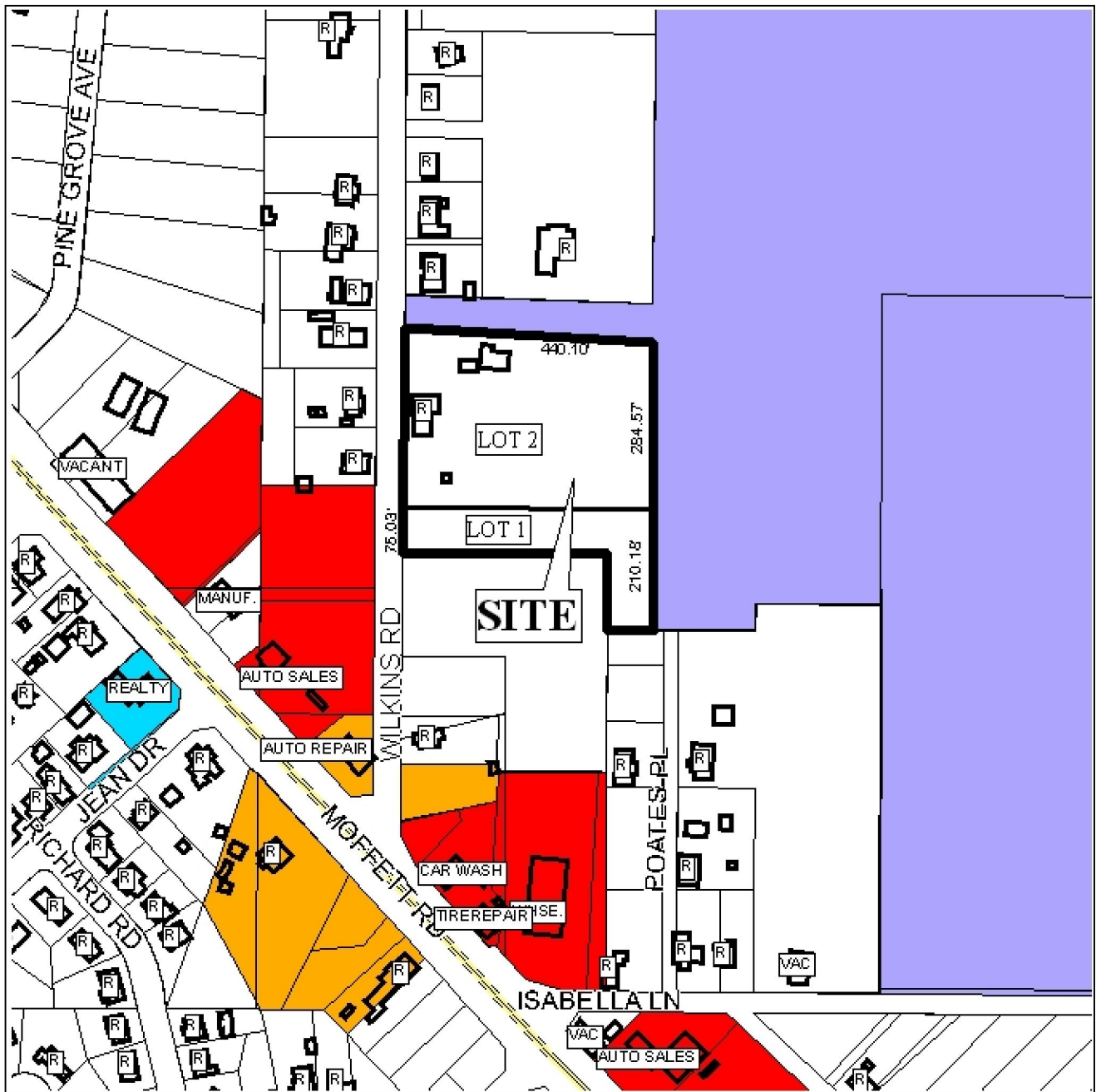
APPLICANT Pumell Subdivision

REQUEST Subdivision



NTS

PURNELL SUBDIVISION



APPLICATION NUMBER 6 DATE November 16, 2006

LEGEND

R-1	R-2	R-3	R-4	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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