

PINE SPRINGS FARMS SUBDIVISION,
RESUBDIVISION OF LOT 6, BLOCK C

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has no water or sewer services available.

The plat illustrates the proposed 2-lot, 5.0± acre subdivision which is located on the South side of Taylor Avenue, 1,800'± West of Taylor Avenue South, within the Planning Jurisdiction. The applicant states that the subdivision is served by public water service and individual septic tanks.

The purpose of this application is to subdivide an existing lot of record into two legal lots of record.

Both lots would meet the minimum required lots sizes. As on the preliminary plat, the lots should be labeled with their sizes in acres on the Final Plat, if approved, or a table should be furnished providing the same information. The 25' minimum building setback line along Taylor Avenue should also be illustrated on the Final Plat as on the preliminary plat.

The site fronts onto Taylor Avenue, a minor unpaved street not provided with curb and gutter and with a 50' right-of-way. Section V.B.14. of the Subdivision Regulations requires a 60' minimum right-of-way for minor streets not provided with curb and gutter; therefore, dedication should be required to provide 30' from the centerline of Taylor Avenue. As a means of access management, a note should be required on the Final Plat, if approved, stating each lot is limited to one curb cut to Taylor Avenue, with the size, location and design to be approved by County Engineering and conform to AASHTO standards.

As proposed, the lots would exceed the maximum depth-to-width ratio of Section V.D.3. of the Subdivision Regulations; however, there are similar-shaped recorded lots within the immediate vicinity. Therefore, a waiver of Section V.D.3. would be in order.

It should be noted that the site is located within the X-unshaded and AE flood zones as shown on FEMA Flood Insurance Rate Maps. The presence of floodplains would indicate that the area may be environmentally sensitive; therefore, if approved, the approval of all applicable federal,

state and local environmental agencies would be required prior to the issuance of any permits or land disturbance activities.

This site is located in the County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

The site will have to comply with the City of Mobile storm water and flood control ordinances. A note stating *“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”* should be placed on the Final Plat.

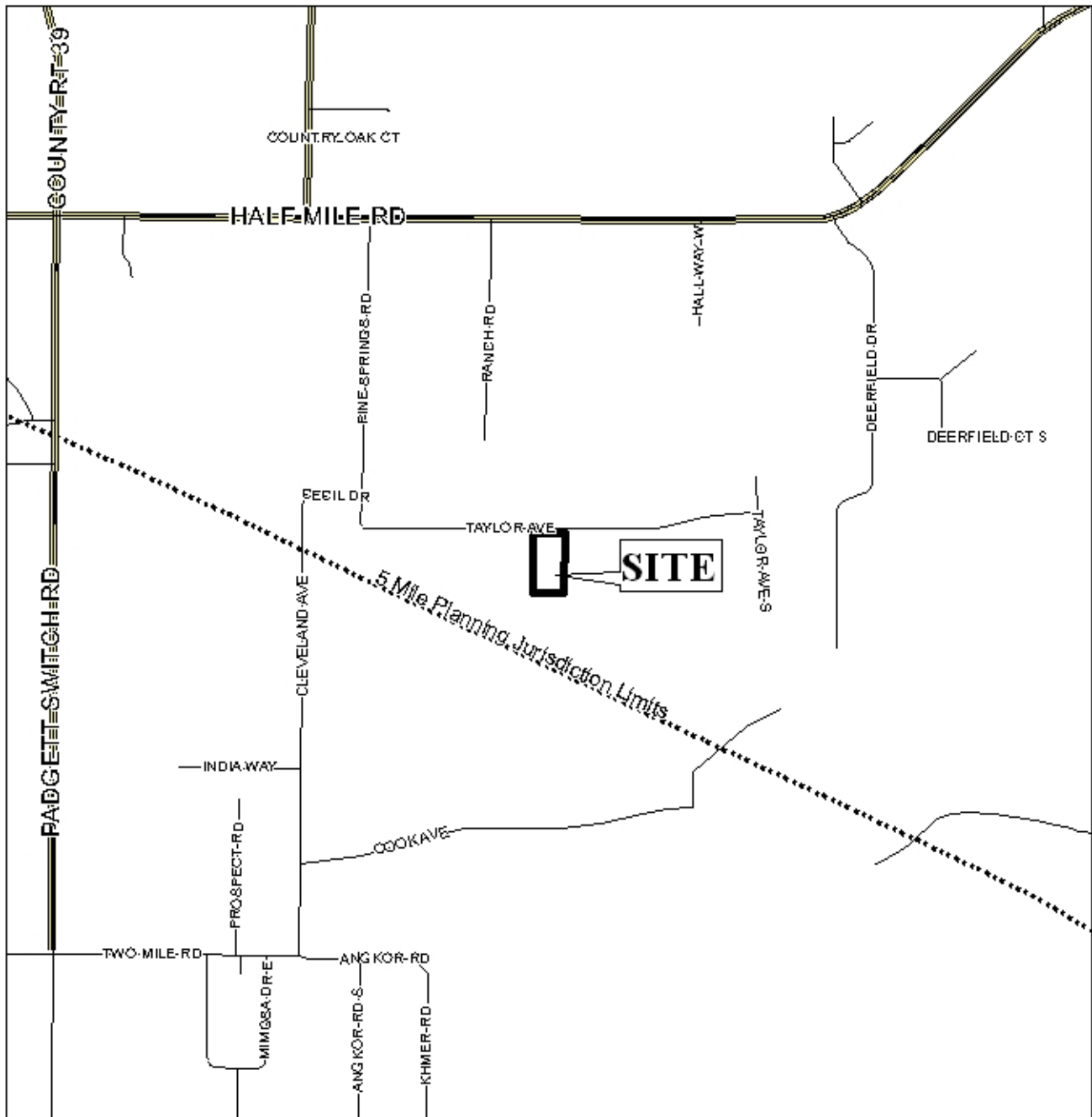
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

With a waiver of Section V.D.3. of the Subdivision Regulations, this application is recommended for tentative approval, subject to the following conditions:

- 1) labeling of each lot with its size in acres, or the furnishing of a table on the Final Plat providing the same information;
- 2) dedication to provide 30' from the centerline of Taylor Avenue;
- 3) illustration of the 25' minimum building setback line along Taylor Avenue as measured from any required dedication;
- 4) placement of a note on the Final Plat stating that each lot is limited to one curb cut to Taylor Avenue, with the size, location and design to be approved by County Engineering and conform to AASHTO standards;
- 5) placement of a note on the Final Plat stating that the approval of all applicable federal, state and local environmental agencies for flood zone issues would be required prior to the issuance of any permits or land disturbance activities;
- 6) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 7) placement of a note on the Final Plat stating the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering; and

- 8) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

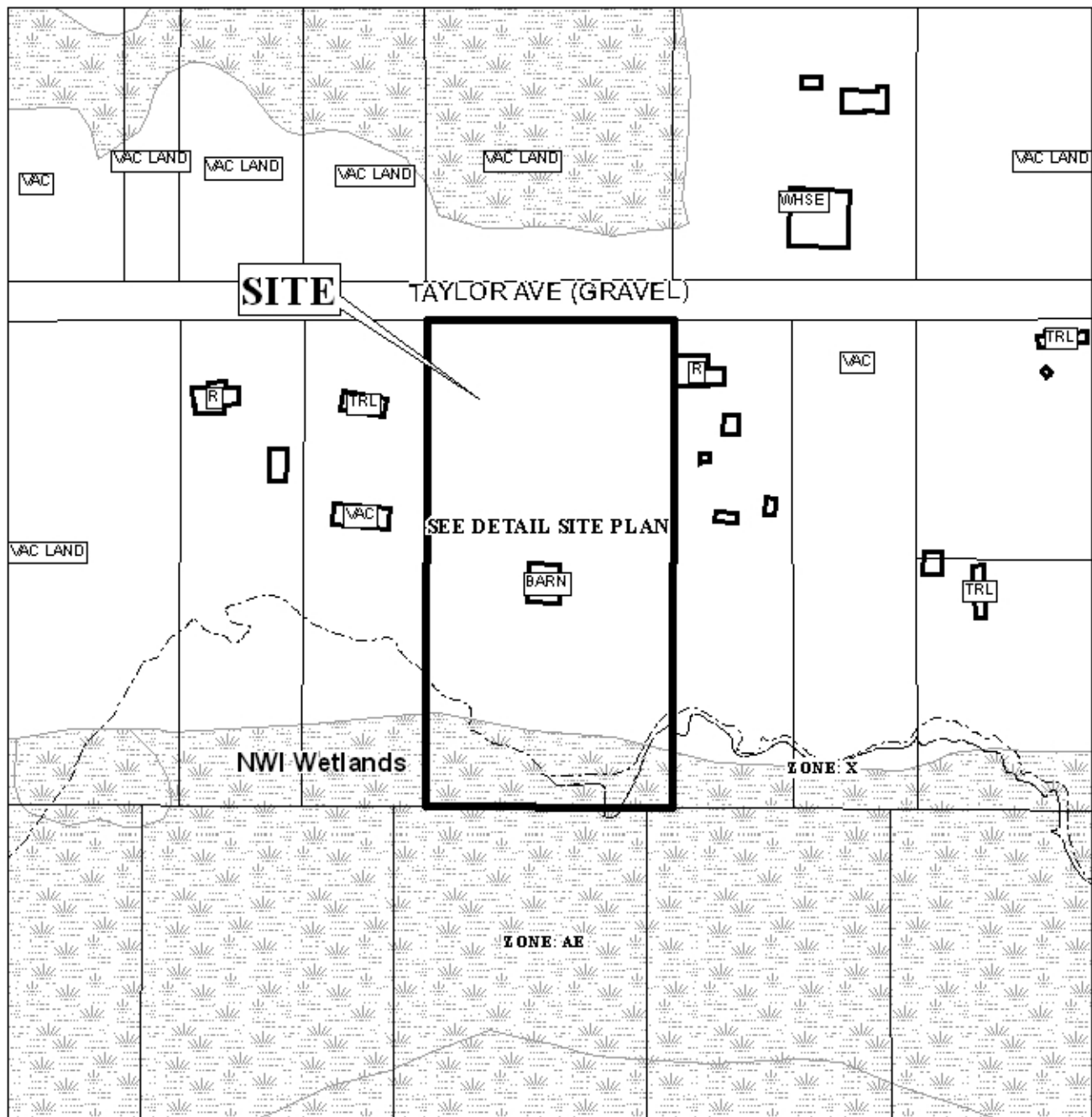
LOCATOR MAP



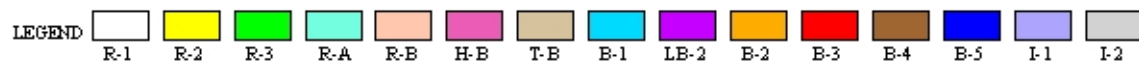
APPLICATION NUMBER 6 DATE July 21, 2011
APPLICANT Pine Spring Farm Subdivision, Resubdivision of Lot 6, Block C
REQUEST Subdivision



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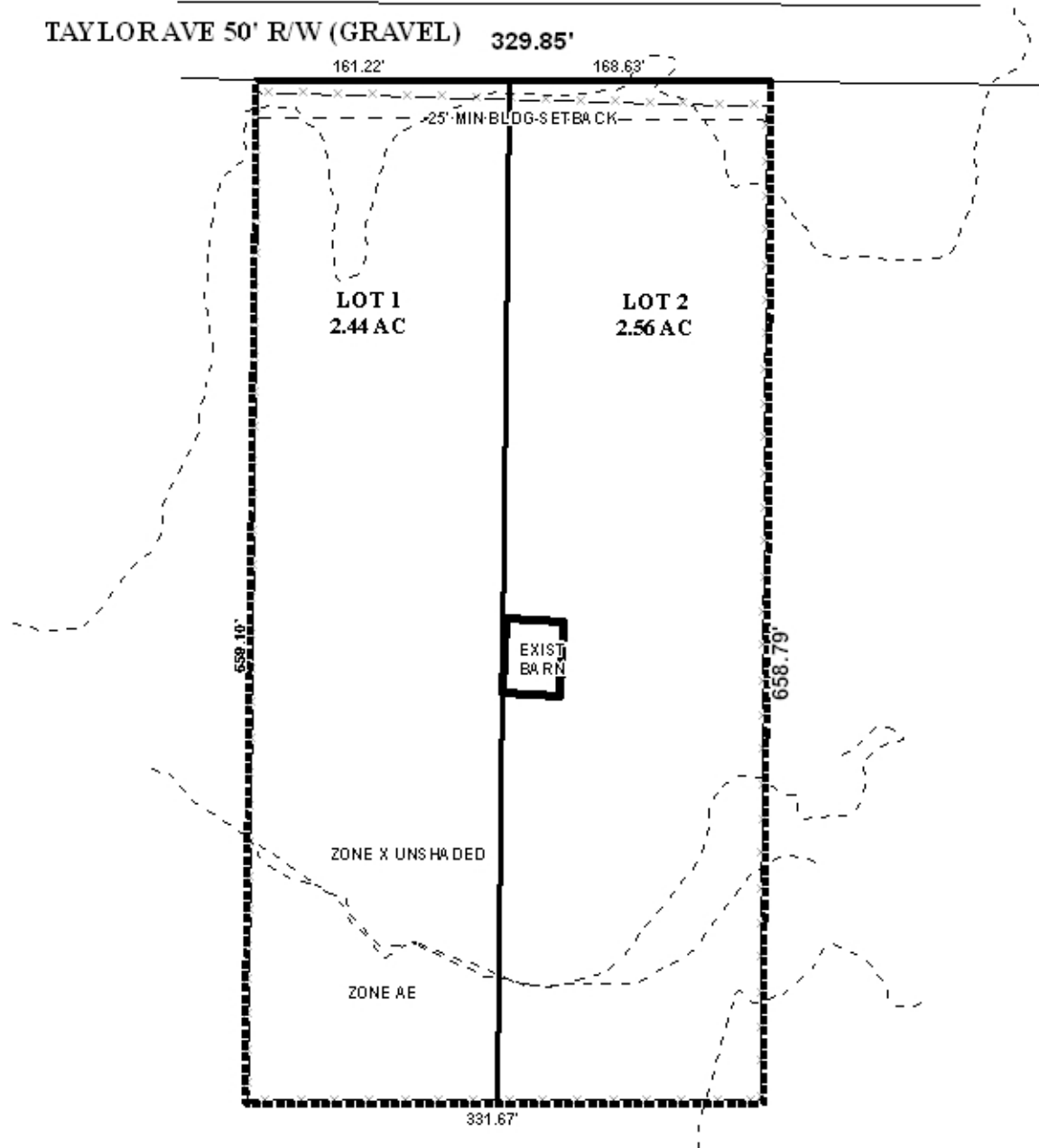
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DETAIL SITE PLAN



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