

PAPA JOHN'S SUBDIVISION

Engineering Comments: Need to provide a private drainage easement along the south end of proposed Lot 1 to accept drainage from proposed Lot 2. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Final approval for all driveways, proposed and existing will be given upon submittal of final plans.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

Mobile Area Water & Sewer System Comments: No Comments

The plat illustrates the proposed 1.1± acre, 2 lot subdivision, which is located at the Southwest corner of Cottage Hill Road and Vivian Drive, in City Council District 4. The applicant states that the site is served by public water and sanitary sewer facilities.

The purpose of this application is to reconfigure two existing legal lots of record.

To the North, the site fronts Cottage Hill Road, a major street with sufficient right-of-way. To the East, it fronts Vivian Drive, a minor street with 50' right-of-way. Section V.B.14. of the Subdivision Regulations requires that minor streets without curb and gutter have a minimum 60' right-of-way. Thus, the applicant should revise the plat to provide a minimum 30' as measured from the centerline of Vivian Drive.

The subject site is currently developed with existing curb cuts to Cottage Hill Road and Vivian Drive. The proposed subdivision, as illustrated on the plat, would create a situation where two lots share access from Cottage Hill Road. It also appears that there will be shared parking on the Southern portion of the site. Therefore, an application for a Planned Unit Development would be required.

Lot 1 has approximately 255' of frontage, with an open continuous curb cut, along Vivian Drive. If approved, the continuous curb cut shall be removed, and a note should be placed on the final plat stating that Lot 1 is limited to two curb cuts to Vivian Drive, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

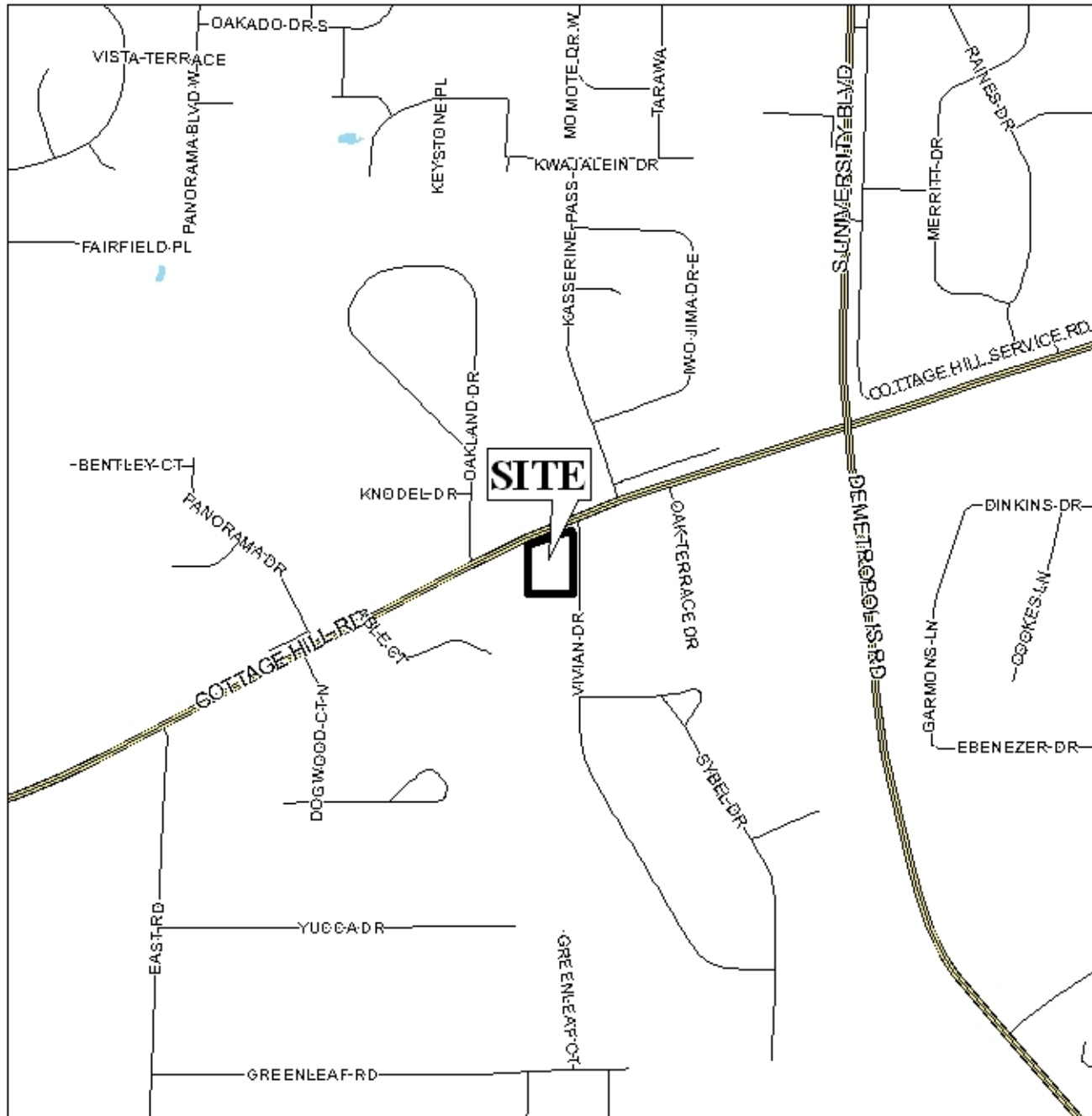
As illustrated on the plat, the applicant plans to demolish a portion of the existing structure, thereby creating two separate buildings. However, the resulting building on Lot 1 appears to be very close to the interior lot line. As required by Section 64-3.E. of the Zoning Ordinance, structures must be either zero or five feet from side property lines in B-2, Neighborhood Business Districts (nothing in between). Therefore, the applicant should revise the plat to label all setbacks, in order to verify compliance.

The applicant has illustrated a 30' minimum building setback from both Cottage Hill Road and Vivian Drive, which exceeds the minimum front setback requirement of Section 64-3.E. of the Zoning Ordinance. The applicant should be aware that, if recorded, an amendment of this setback will require a new subdivision application.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, it is recommended that this application be held over until the December 18th meeting to allow the applicant to submit an application for a Planned Unit Development, for shared access between two building site, and to depict the proposed building setbacks from the interior lot line.

LOCATOR MAP



APPLICATION NUMBER 6 DATE November 20, 2008

APPLICANT Papa John's

REQUEST Subdivision



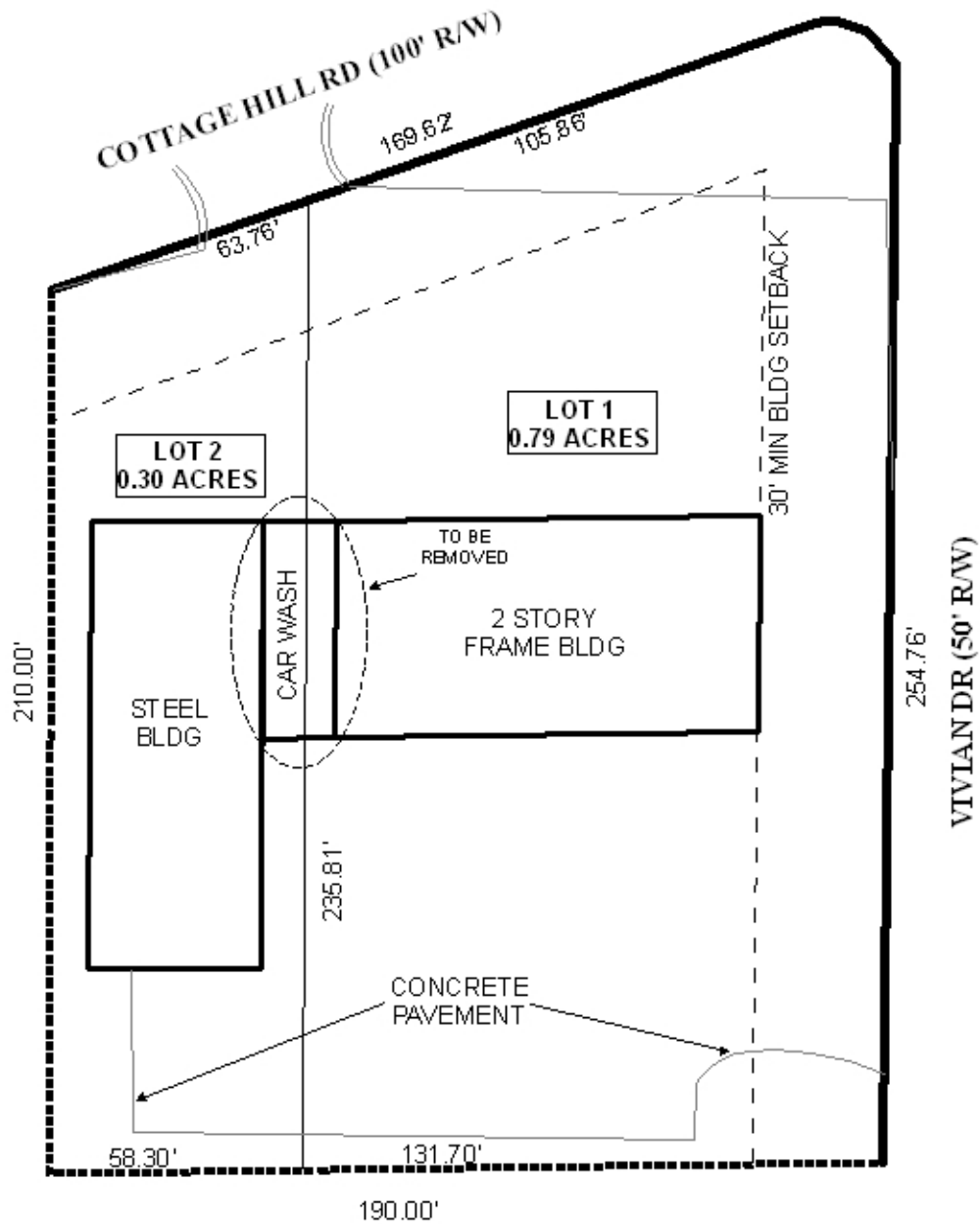
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DETAIL SITE PLAN



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