

NEWCASTLE LANDING SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Mobile Area Water and Sewer Systems Comments: MAWSS has water service but NO sewer services available. (South Alabama Utilities)

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

The plat illustrates the proposed 22.9± acre, 51-lot subdivision, which is located at the Northeast corner of McFarland Road and Scott Dairy Loop Road South, extending to the South terminus of Newcastle Drive, within the planning jurisdiction. The applicant states that the site is served by public water and sewer services.

The purpose of this application is to re-subdivide an existing lot of record into 51 lots of record. The subject site is recorded as Lot 34, Newcastle Estates Subdivision – Unit One, which was approved as New Castle Subdivision in July, 2004, as a 78-lot subdivision. An extension was approved in November, 2005, and 34 lots were signed and recorded in December, 2005, as Newcastle Subdivision – Unit One, before being re-recorded as Newcastle Estates Subdivision – Unit One. Lot 34 was the remainder of the subdivision not intended for development at that time. Although the application lists 53 lots, the plat indicates only 51 lots. However, since less lots are actually proposed than listed on the application, public re-notification will not be necessary. All lots meet the minimum size requirements of the Subdivision Regulations.

The site fronts McFarland Road and Scott Dairy Loop Road South. McFarland Road has a compliant 60' right-of-way. Scott Dairy Loop Road South is a component of the Major Street Plan with a planned 100' right-of-way. The current right-of-way is listed as 80' on the plat; however, dedication was made with the recording of Newcastle Estates Subdivision – Unit One, to provide a compliant 50' from the centerline along Scott Dairy Loop Road South. Therefore, no dedication would be required if this application is approved.

This subdivision will require the construction of streets to Mobile County standards, and all new street rights-of-way, as depicted, meet to requirements of Section V.D.14. of the Subdivision Regulations. Cul-de-sacs without medians are shown to have a compliant 120' diameter on the plat. As a means of access management, a note should be required on the final plat stating that

Lots 1 through 13 are denied direct access to McFarland Road, and Lot 14 is denied direct access to both McFarland Road and Scott Dairy Loop Road South. Also, a note should be required stating that Lots 15, 47 and 51 are denied direct access to Scott Dairy Loop Road South. A note should also be required on the final plat stating that all lots are limited to one curb cut each, with the size, location and design to be approved by County Engineering and conform to AASHTO standards.

The proposed subdivision has closed-end (cul-de-sac) streets over 600' in length which is the maximum length ordinarily allowed by Section V.B.6. of the Subdivision Regulations. However, due to the site constraints of topography and the common areas, a waiver of Section V.B.6. would seem in order.

As on the preliminary plat, the 25' minimum building setback line along all interior street frontages should be illustrated on the final plat. The plat should be revised to also illustrate a 25' minimum building setback line along both McFarland Road and Scott Dairy Loop Road South. And the plat should be revised to label each lot with its size in both square feet and acres, or a table should be furnished on the final plat providing the same information.

The plat indicates common areas labeled as such and an entrance median on Scott Dairy Loop Road South which should also be labeled as a common area on the final plat. A note should be required on the final plat stating that the maintenance of all common areas is the responsibility of the property owners and not Mobile County. A marshy area may be present within the existing recorded common area which indicates that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local environmental agencies would be required prior to the issuance of any permits or land disturbance activities.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the Final Plat, if approved, stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

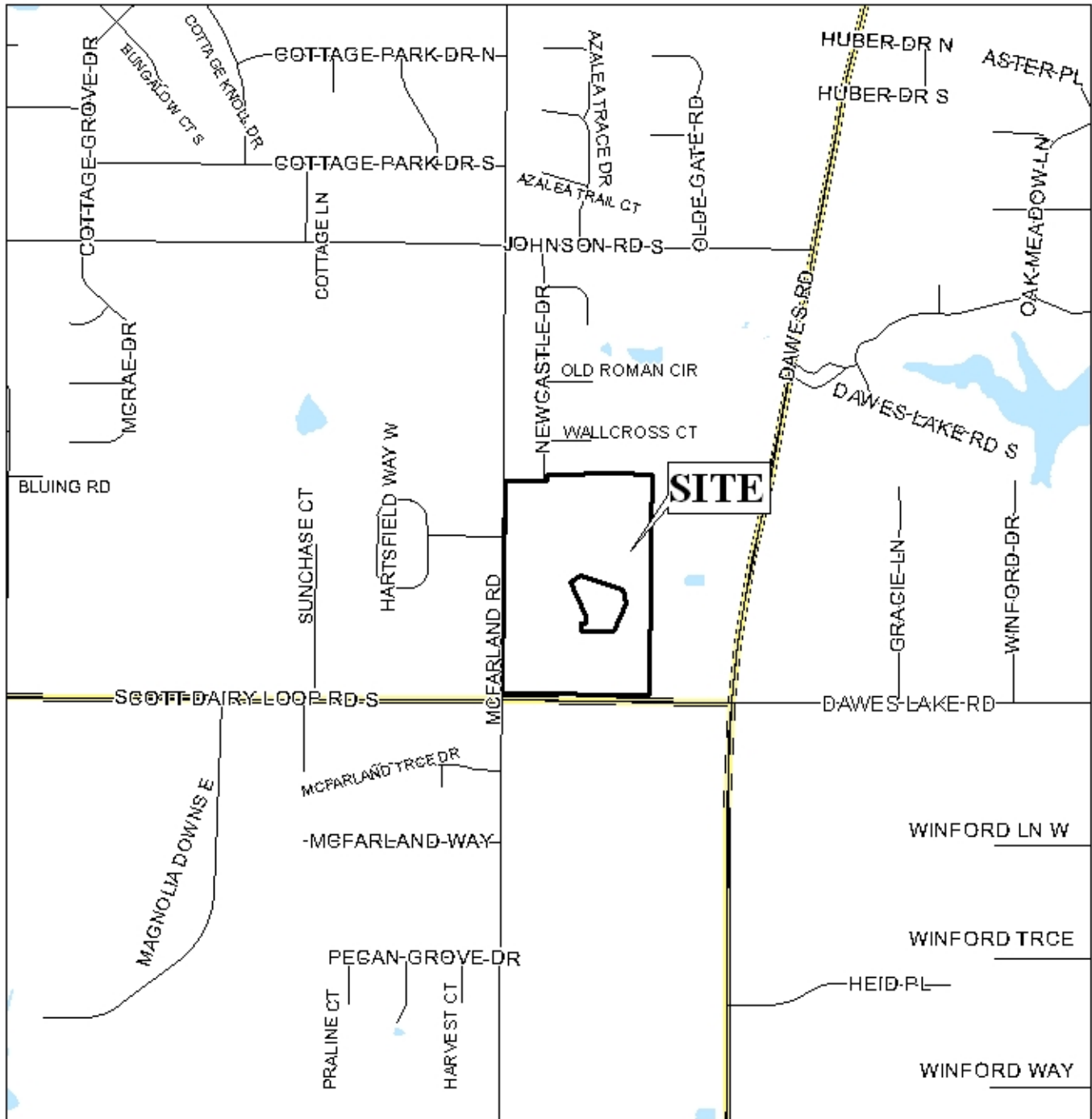
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

The site is located in the County. Therefore, a note should be placed on the final plat, if approved, stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

With a waiver of Section V.B.6. the proposed plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval subject to the following conditions:

- 1) placement of a note on the final plat stating that Lots 1 through 13 are denied direct access to McFarland Road;
- 2) placement of a note on the final plat stating that Lot 14 is denied direct access to both McFarland Road and Scott Dairy Loop Road South;
- 3) placement of a note on the final plat stating that Lots 15, 47 and 51 are denied direct access to Scott Dairy Loop Road South;
- 4) placement of a note on the final stating that all lots are limited to one curb cut each, with the size, location and design to be approved by County Engineering and conform to AASHTO standards;
- 5) illustration of the 25' minimum building setback line along all interior street frontages and along McFarland Road and Scott Dairy Loop Road South;
- 6) labeling of each lot with its size in both square feet and acres, or the furnishing of a table on the final plat providing the same information;
- 7) revision of the plat to also label the entrance median on Scott Dairy Loop Road South as a common area;
- 8) placement of a note on the final plat stating that the maintenance of all common areas is the responsibility of the property owners and not Mobile County;
- 9) placement of a note on the final plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities;
- 10) placement of a note on the final plat stating the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 11) placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding wetlands; and
- 12) placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

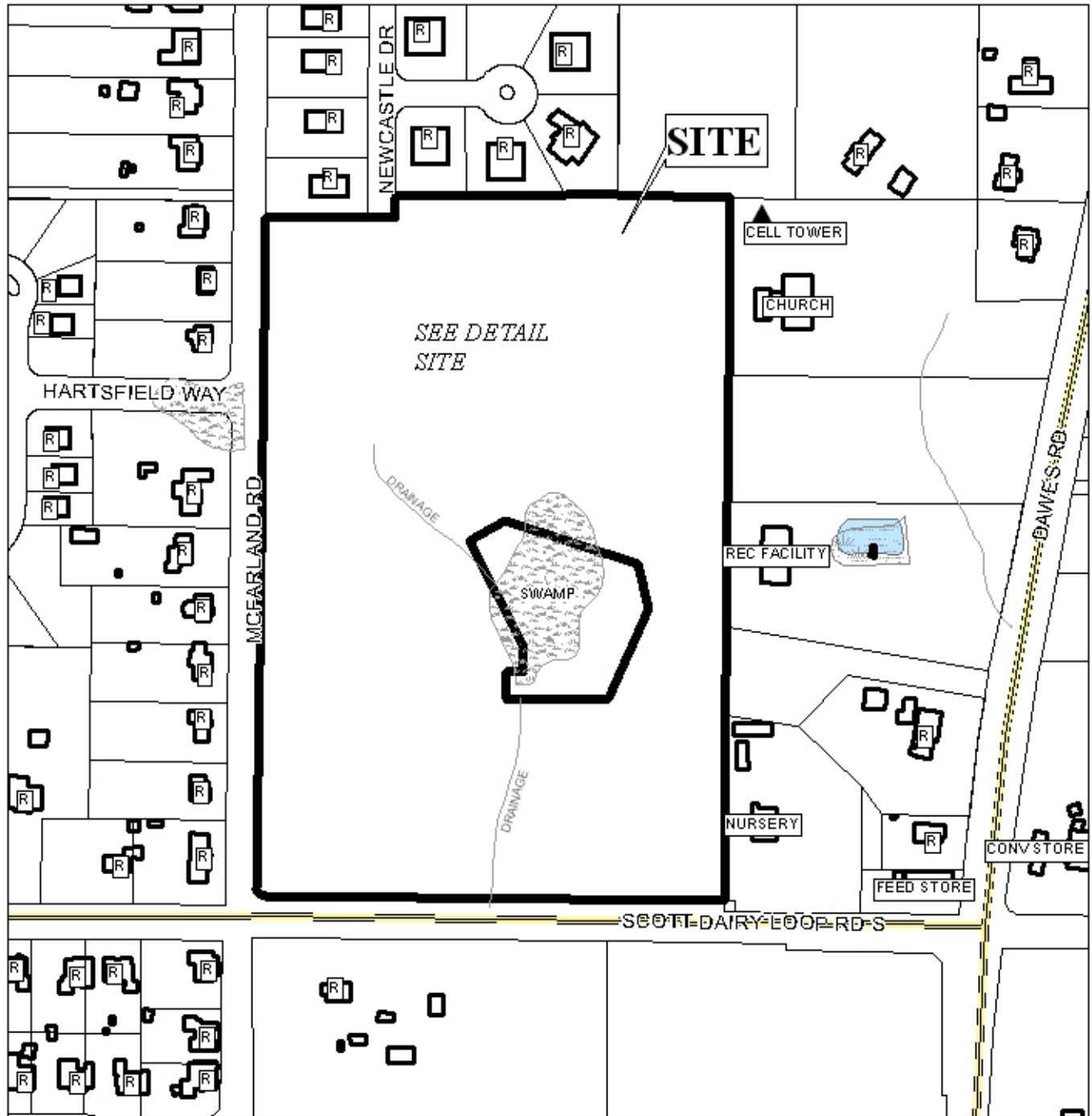
LOCATOR MAP



APPLICATION NUMBER 6 DATE November 4, 2010
 APPLICANT Newcastle Landing Subdivision
 REQUEST Subdivision



NEWCASTLE LANDING SUBDIVISION



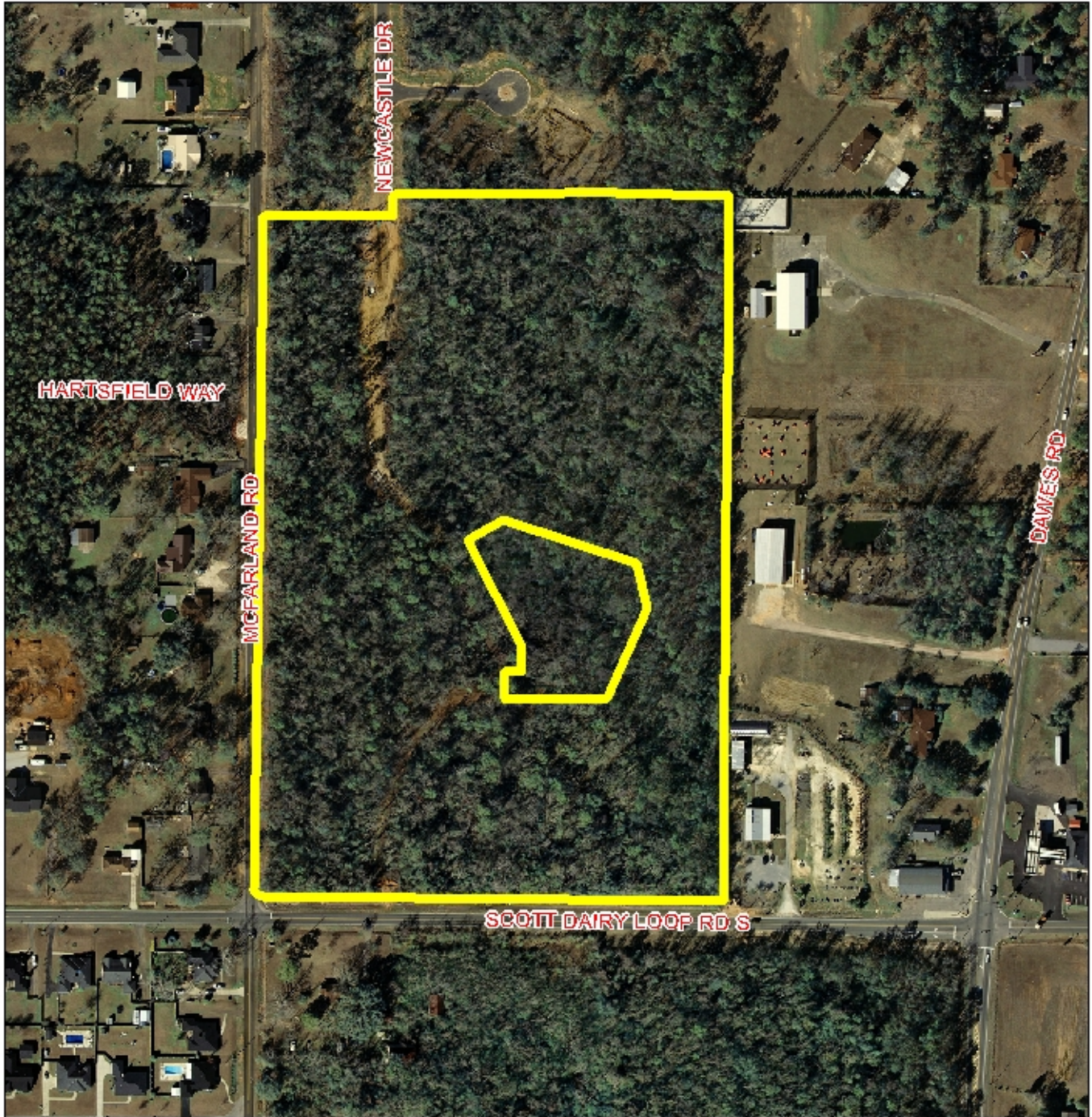
APPLICATION NUMBER 6 DATE November 4, 2010

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



NEWCASTLE LANDING SUBDIVISION



APPLICATION NUMBER 6 DATE November 4, 2010



DETAIL SITE PLAN



APPLICATION NUMBER 6 DATE November 4, 2010
APPLICANT Newcastle Landing Subdivision
REQUEST Subdivision

