

## **MOFFETT ROAD WAFFLE HOUSE**

### **SUBDIVISION**

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Clarify the area between the “WEST LINE OF OVERLOOK ROAD PER ROW MAP” and the east property line of the proposed subdivision.
- B. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- C. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- D. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- E. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- F. Provide the Surveyor’s, Owner’s (notarized), Planning Commission, and Traffic Engineering signatures.
- G. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- H. Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer’s signature.
- I. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

Traffic Engineering: Moffett Road (US Highway 98) is an ALDOT maintained roadway, and thus requires approval for any changes proposed in the right-of-way. Site is limited to a maximum of one curb cut per street frontage, with size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance.

Urban Forestry: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 1-lot, 0.5 ± acre subdivision which is located on the South side of Moffett Road extending to the North side of Overlook Road, in Council District 1. The applicant states that the site is served by public water and sewer services.

The purpose of this application is to create one legal lot of record from four legal lots of record (or portions thereof).

The proposed lot fronts Moffett Road, a planned major street as shown on the Major Street Plan Component of the Comprehensive Plan, and requires a 100' right-of-way width. The plat does not state the minimum right-of-way width for Moffett or Overlook Roads. Thus, the plat should be revised to depict the minimum width and if necessary, dedication should be provided along each road frontage if the right-of-way is not sufficient. Overlook Road, a minor street located south of the site, should have a right-of-way width of 50 feet.

At the May 7, 2015 Board of Zoning Adjustment meeting the applicant submitted a request for a variance to reduce the setback requirements within 12.7' of the front yard setback and to allow a dumpster pad placement within 9' of the 25' yard setback of the site, to allow a 1,825 square foot restaurant: the request was approved by the Board. The Final Plat, if approved, should be revised to depict the minimum building setbacks approved by the Board.

If determined necessary by the City Engineer, a corner radius in compliance with Section V.D.6 should be provided at the intersection corner property lines.

As a means of access management, a note should be placed on the Final Plat stating that the proposed Lot should be limited to only 1 curb-cut each to both Moffett and Overlook Road, with the size, design and location of the new curb-cuts to be approved by Traffic Engineering and ALDOT (where required) conform to AASHTO standards.

In accordance with the Subdivision Regulations, the lot size information should be depicted in both square feet and in acres on the Final Plat, if approved.

Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) Dedication of right-of-way to provide 50' as measured from the centerline of Moffett Road; if necessary
- 2) Dedication of right-of-way to provide 25' as measured from the centerline of Overlook Road; if necessary
- 3) Revision of the minimum building setback lines to reflect either a minimum distance of 25' along all street frontages, or as approved at the May 2015 meeting of the Board of Zoning Adjustments;
- 4) Revision of the Final Plat to depict a corner radius along each street corner, in compliance with Section V.D.6, if determined necessary by the City Engineer;

- 5) Placement of a note on the Final Plat stating that the lot is limited to 1 curb-cut each on both Moffett Road and Overlook Road, with the size, design or location to be approved by Mobile County Engineering and conform to AASHTO standards;
- 6) Revision of the lot size information to be depicted in both square feet and in acres on the Final Plat;
- 7) Compliance with Fire Comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.);*
- 8) Compliance with Engineering Comments and placement as a note on the Final Plat: *(The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: (A. Clarify the area between the "WEST LINE OF OVERLOOK ROAD PER ROW MAP" and the east property line of the proposed subdivision. B. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. C. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. D. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. E. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. F. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. G. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. H. Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer's signature. I. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);*
- 9) Compliance with Traffic Engineering Comments: *(Moffett Road (US Highway 98) is an ALDOT maintained roadway, and thus requires approval for any changes proposed in the right-of-way. Site is limited to a maximum of one curb cut per street frontage, with size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.); and*
- 10) Labelling of the minimum right-of-way width for all abutting streets.

# LOCATOR MAP



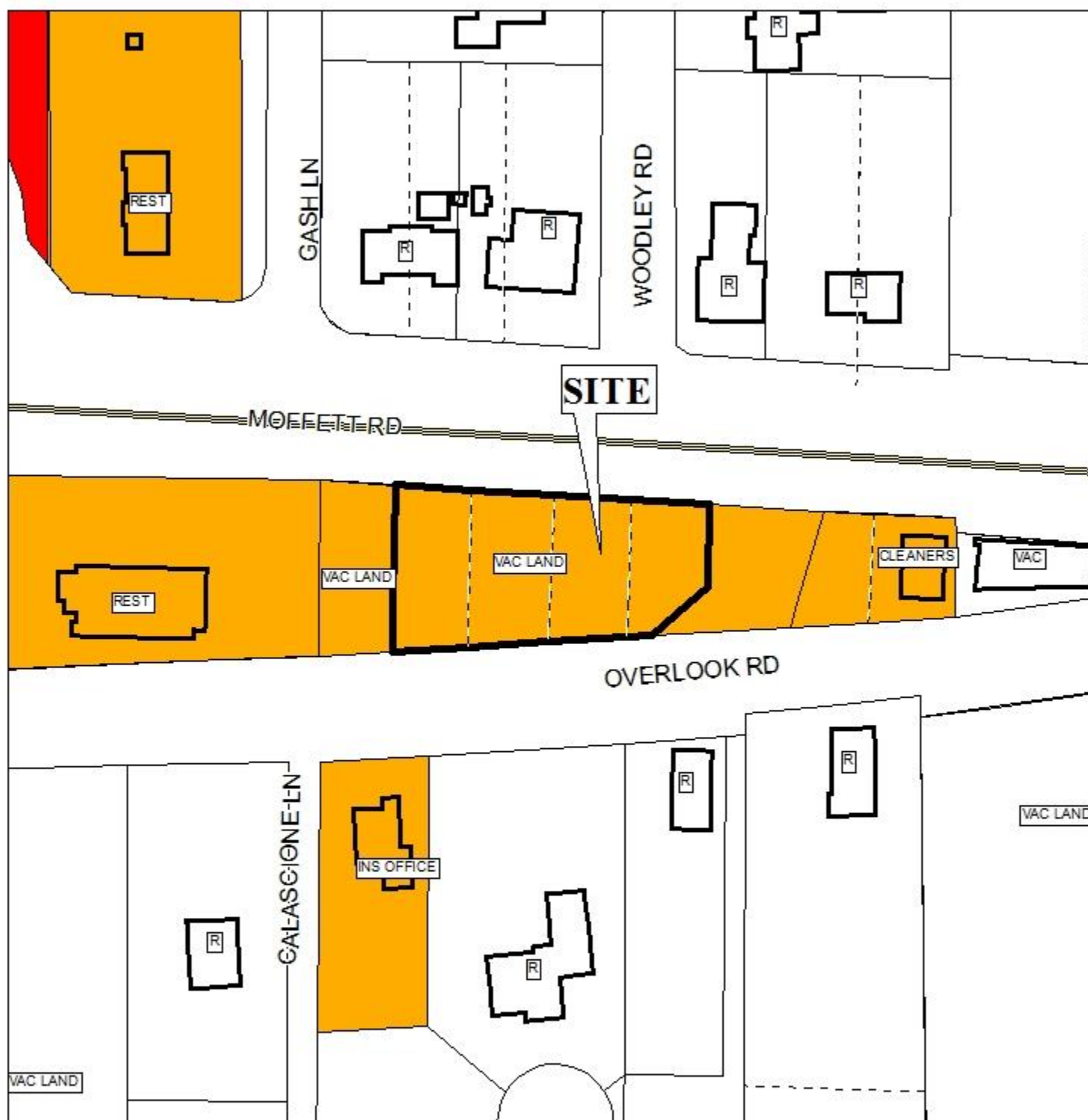
APPLICATION NUMBER 6 DATE May 21, 2015

APPLICANT Moffett Road Waffle House Subdivision

REQUEST Subdivision



# MOFFETT ROAD WAFFLE HOUSE SUBDIVISION



APPLICATION NUMBER 6 DATE May 21, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





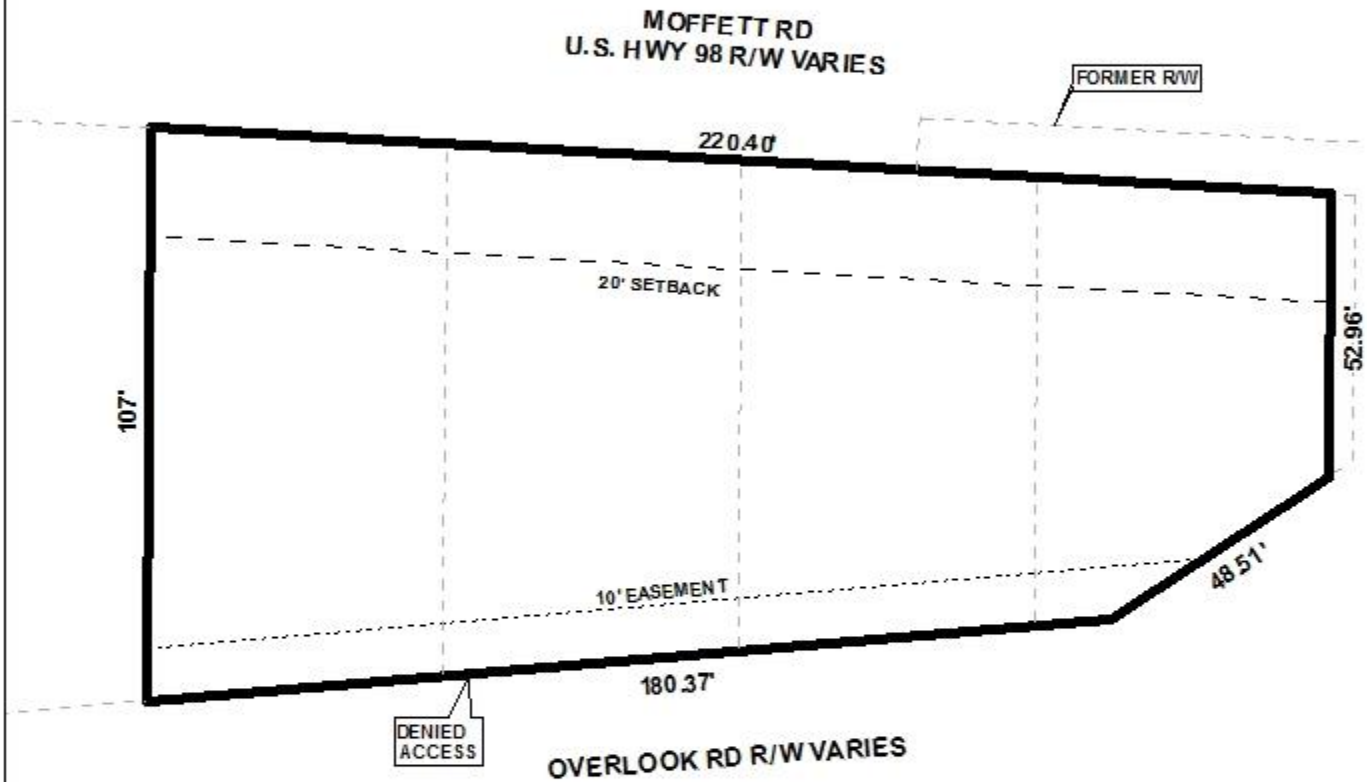
# MOFFETT ROAD WAFFLE HOUSE SUBDIVISION



APPLICATION NUMBER 6 DATE May 21, 2015



# DETAIL SITE PLAN



APPLICATION NUMBER 6 DATE May 21, 2015

APPLICANT Moffett Road Waffle House Subdivision

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