

**PLANNED UNIT DEVELOPMENT,
PLANNING APPROVAL,
ZONING & SUBDIVISION STAFF REPORT****Date: July 9, 2015**

<u>NAME</u>	Historic Restoration Society, Inc.
<u>SUBDIVISION NAME</u>	Lone Oak Subdivision, Lot 1, Resubdivision of Lot 1/Lot 2
<u>LOCATION</u>	901, 903, & 911 Dauphin Street and 2, 6, 10, & 14 South Broad Street (Southwest corner of Dauphin Street and South Broad Street, extending to the North side of Conti Street)
<u>CITY COUNCIL DISTRICT</u>	District 2
<u>PRESENT ZONING</u>	<i>R-3, Multiple- Family Residential District, B-1, Buffer Business District, and B-4, General Business District</i>
<u>PROPOSED ZONING</u>	B-2, Neighborhood Business District and B-4, General Business District
<u>AREA OF PROPERTY</u>	2 lots / 4.5 acres \pm
<u>CONTEMPLATED USE</u>	Subdivision approval to create two legal lots, Planned Unit Development Approval to allow multiple buildings on a single building site and shared access and parking between two building sites, Planning Approval to allow a float barn in a B-4, General Business District, and <i>Rezoning from R-3, Multiple- Family Residential District, B-1, Buffer Business District, and B-4, General Business District, to B-4, General Business District to eliminate split zoning.</i>
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Not stated.
<u>ENGINEERING COMMENTS</u>	

Subdivision:

The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Revise the "Site" shown in the vicinity map to match the parcels shown in Subdivision Plan.
- B. Provide a line that clearly depicts the proposed subdivision boundary.

- C. Provide a Subdivision Name. The proposed name shown on the Subdivision Plan does not appear to adequately describe the proposed resubdivision of these 11 parcels.
- D. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- E. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- F. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 29 - #76) the Lot(s) will receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.
- G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- I. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- J. Provide a written legal description for the proposed subdivision and matching bearing and distance labels.
- K. Show and label all flood zones.
- L. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
- M. Show and label each and every Right-Of-Way and easement.
- N. Provide and label the monument set or found at each subdivision corner.
- O. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- P. Provide the Surveyor's Certificate and Signature.
- Q. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- R. Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer's signature.
- S. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Planned Unit Development:

ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City

of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).

2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Broad Street is an ALDOT maintained roadway. Driveway number, size, location and design are subject to the approved PUD for this site, and shall be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. All unused curbs cuts abutting the proposed site work should be removed. Curb stops should be provided to prevent vehicle parking in the landscape areas.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 80" Live Oak Tree located on the North side of Lot 1 and the 60" Live Oak Tree located on the West side of Lot 1. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code) Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC)

REMARKS

The applicant is requesting Subdivision approval to create two legal lots, Planned Unit Development Approval to allow multiple buildings on a single building site and shared access and parking between two building sites, Planning Approval to

allow a float barn in a B-4, General Business District, and Rezoning from R-1, Single-Family Residential District, R-3, Multiple-Family Residential District, B-1, Buffer Business District, B-2, Neighborhood Business District, and B-4, General Business District, to B-2, Neighborhood Business District, and B-4, General Business District to eliminate split zoning. Float barns require Planning Approval when located in B-4 districts.

A majority of the site is within the Old Dauphin Way Historic District, and the proposed resubdivision may result in a need to modify the boundaries of the district.

The main portion of the site was most recently before the Planning Commission at its July 3, 2014, where a Planned Unit Development and Rezoning request (B-1 to B-2) were approved in order to allow the building at 911 Dauphin Street to be used as a meeting / reception hall. The rezoning request was subsequently approved by the City Council at its August 26, 2014 meeting. It should be noted that the rezoning approval included voluntary use restrictions, and a condition that those restrictions be recorded in Mobile County Probate Court (recorded on June 30, 2015).

The applicant now proposes to expand the overall site across two lots, incorporating existing buildings, adding onto existing buildings, as well as proposing new buildings. The overall PUD site will now have frontage onto Dauphin Street, Conti Street, and unlike the previous applications, Broad Street.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

As stated, the site has frontage onto Dauphin Street, Conti Street, and Broad Street. Dauphin and Broad Streets are proposed major streets, according to the Major Street Plan component of the Comprehensive Plan. The existing right of way of Dauphin Street is 60 feet, however, the Major Street Plan calls for a right of way of 100 feet: the previously approved Lone Oak Subdivision required additional setback in lieu of dedication. Broad Street requires a 120 foot wide right of way, but currently only has a 100 foot wide right of way: dedication has been required as recently as 2010 (Checkers Broad Street Subdivision) along this segment of Broad Street. Conti Street is a minor street with an adequate 50-foot wide right of way, thus no dedication will be required. The plat should be revised to show the minimum building setback line along Dauphin Street to be from the future right of way edge (as was done on the Live Oak Subdivision), however, it should be noted that for the proposed Lot 2, which will be in a B-4 district, no building setback is required per the Zoning Ordinance, thus it's setback line will be the edge of future right of way. For Broad Street, sufficient right of way should be dedicated to provide 60 feet from centerline.

Given the congested nature of the segment of Broad Street between Spring Hill Avenue and Government Street, access management is of concern. Traffic Engineering notes that Broad Street is an ALDOT maintained roadway. Neither the preliminary plat nor the site plan depict all existing curb-cuts along all abutting streets, including the numerous curb-cuts along Broad

Street, and the residential curb-cuts along Conti Street. It is recommended that both the preliminary plat and the site plans be revised to accurately depict all existing curb-cuts and indicate which are proposed to remain and which are proposed to be removed.

The preliminary plat should be revised to provide a corner radius at the Dauphin / Broad Street intersection, and at the Broad / Conti Street intersection.

It should also be noted that the preliminary plat does not clearly delineate which property will be Lot 1 and which will be Lot 2, nor where the boundary line between the two will be situated.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

Planning Approval and PUD approval are site plan specific, thus the plan must be accurate at time of submittal, and any changes to the site plan must be approved by the Planning Commission.

The applicant states the following regarding their requests:

"The contemplated use for this property is to use the building that is presently being refurbished for a meeting place and offices for a private social organization. The large 3-story building will ultimately be used for wedding receptions and similar private functions. The two smaller buildings located in the Southwest corner of the property are to be restored and serve the facility for uses incidental to the clerical and supporting functions of the organization.

The easterly portion of the property, which is primarily zoned B-4 will be used for the construction of 2 "float barns" to house Mardi Gras floats. The attached drawings outline a proposed footprint for proposed consolidation of parcels to form two lots with crossover access. The development of the individual entities delineated as proposed will be pending approval of all applicable codes and restrictions with all required documents submitted prior. Please note that the outline of the proposed barns is in footprint only with actual articulation addressing planning approval, historic district and flood zone issues to follow. The barns are sited as a backdrop to the two existing structures on the site which are to be refurbished and serve as uses incidental to the float barns. We

greatly respect the location and context of the site and are committed to providing it with a revitalized and cohesive identity.

PUD is necessary due to multiple structures and cross-over access between 2 lots. Planning approval is necessary due to the proposed use in B-4 zoning. Zoning change is necessary to avoid split zoning of the proposed lots.

It is proposed that this property will consist of 2 lots. The westerly lot is primarily B-2 and the two R-1 parcels in the southwest corner would be rezoned to B-2. Similarly, the easterly lot is primarily B-4 and the parcels presently zoned R-3 and B-1 would be rezoned to B-4. Changes in the conditions in this area and the fact that split zoning of the proposed lots is undesirable, the rezoning of this property is justified.”

As stated in Section 64-9. of the Zoning Ordinance, the intent of the Ordinance and corresponding Zoning Map is to carry out the comprehensive planning objective of sound, stable and desirable development. While changes to the Ordinance are anticipated as the city grows, the established public policy is to amend the ordinance only when one or more of the following conditions prevail: 1) there is a manifest error in the Ordinance; 2) changing conditions in a particular area make a change in the Ordinance necessary and desirable; 3) there is a need to increase the number of sites available to business or industry; or 4) the subdivision of land into building sites makes reclassification of the land necessary and desirable.

The site appears to be depicted as commercial on the General Land Use Component of the Comprehensive Plan, which is meant to serve as a general guide, not a detailed lot and district plan or mandate for development. The accuracy of recommended land uses on the General Land Use Component map is limited due to the large scale of the map. Moreover, the General Land Use Component allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and zoning classification.

The site is bounded to the North, East and South by various commercial uses in commercial districts, including B-1, B-2, B-4 and T-5.1 (a subdistrict of the Downtown Development District). To the West of the site are commercial uses in a B-1 district and residential uses in an R-1 district.

The resubdivision of the site will result in a split-zoning condition, thus reclassification of the property will be required in order to avoid the condition. It should be noted, however, that two R-1 properties that contain single family residences are proposed to be incorporated into the proposed Lot 1 and rezoned to B-2. The applicant states that the residential structures will used “for uses incidental to the clerical and supporting functions of the organization.” Given that the western-most residential structure appears to be on the property line with the abutting residence, any commercial use of this structure may create compatibility concerns. Furthermore, commercial use of the residential structures will require building and fire code compliance due to the change in occupancy.

The rezoning of the proposed Lot 2 fronting Broad Street to B-4 will eliminate a B-1 and an R-3 district that has been in existence since the current Ordinance was adopted in 1967. With a B-4 district, there are no setback, site coverage or height limitations. In contrast, the abutting B-1 and B-2 districts have a 45 foot height limit, and across Broad Street is a T-5.1 subdistrict of the Downtown Development District, which has a three (3) story height limit, but no setback or site coverage limitations. For contextual consistency, the applicant may wish to include a height limit as part of the Planned Unit Development in order to ensure that new construction on the site will reflect adjacent height limitations.

Since the original rezoning of the 911 Dauphin Street property included voluntary use restrictions, the expansion of the proposed property and associated uses in B-2 and B-4 districts may necessitate that the applicant reconsider their rezoning request. At minimum the B-2 rezoning request should likely include similar restrictions as the original request due to neighborhood concern.

The Broad Street corridor represents an area that should raise special consideration for the Planning Commission. The Bring Back Broad Street initiative, started in 2005, proposed to make streetscape improvements to the Broad Street / Beauregard Street corridor, from the GM & O Railroad Station to the entrance into Brookley Field. The design intent for the segment between Spring Hill Avenue and Government Street was to provide a 10 to 20 foot wide sidewalk along each side of the street, provide street tree plantings and pedestrian scale lighting – all to improve the walkability and visual appearance of an area that is part of the regular Mardi Gras parade routes. Over 4500 feet of Broad Street has been improved, between Canal and Virginia Streets, and a grant application has been submitted to obtain additional federal funds to complete the entirety of the three mile long corridor.

In addition to the Bring Back Broad Street initiative, the New Plan for Mobile, adopted in 2012 by the City Council, depicts proposed Lot 2 as being redeveloped with a mixed-use building that fronts directly onto the sidewalk along Dauphin, Broad and Conti Streets, with parking tucked behind the building. Further behind, along Conti Street, the New Plan shows that the two residences proposed for inclusion into Lot 1 and rezoning, are maintained as residential in nature.

The site plan depicts two float barns, one of which will be 9,000 square feet, and the other 4,800 square feet. These two new buildings would be behind the two existing buildings on Lot 2, which front Dauphin Street and Broad Street. The applicant will use the existing buildings for incidental uses associated with the float barns. While new trees are proposed along Broad Street and Dauphin Street for Lot 2, the interface depicted does not appear to reflect the pedestrian-oriented, architecturally engaging mixed-use spirit of either the Bring Back Broad Street initiative or the New Plan for Mobile.

For Lot 1, other changes include two proposed additions to the existing Orphanage building, including a 390 square foot restroom facility and an unspecified 1125 square foot addition. Two new parking spaces are shown near these additions, however, there does not appear to be any way to reach the parking spaces without driving through designated landscape areas.

That portion of the proposed Lot 1 that will be located behind the residential structures fronting Conti Street, and that portion of Lot 2 that will surround the proposed float barns are shown as being surfaced in “crushed concrete.” Such a surface is not allowed for parking or maneuvering, thus either a surfacing variance will be required, or all areas that will be used for parking or maneuvering must be paved in concrete, asphalt or alternative approved surface as defined by the Zoning Ordinance.

Finally, if the overall PUD will be enclosed with fencing or similar, such should be noted on the site plan.

RECOMMENDATION

Subdivision: The request is recommended for Holdover until the August 6 meeting, with revisions due by July 17, to address the following:

- 1) Revision of the preliminary plat to show dedication along Broad Street to provide 60-feet as measured from the centerline;
- 2) Revision of the preliminary plat to show all existing curb-cuts along all streets and indicate which are intended to remain;
- 3) Revision of the plat to provide a corner radius at the Dauphin/Broad Street intersection and the Broad/Conti Street intersection; and
- 4) Revision of the plat to clearly indicate which property should be considered Lot 1 and Lot 2.

Planned Unit Development: The request is recommended for Holdover until the August 6 meeting, with revisions due by July 17, to address the following:

- 1) Revision of the site plan to reflect all areas utilized for parking and maneuvering as being paved in asphalt, concrete or another approved surface, or that a surface variance will be requested;
- 2) Revision of the site plan to ensure that all proposed parking locations can be accessed without having to cross landscape area;
- 3) Provision of a narrative describing how the site improvements, especially on the property fronting Broad Street, will be in accordance with the Bring Back Broad Street initiative and the New Plan for Mobile, in creating an architecturally engaging mixed-use, pedestrian friendly façade and sidewalk;
- 4) Provision of a narrative to describe how use of the residential structures will be restricted to buffer any impacts to adjacent residential uses, and any buffers provided along the West property line;
- 5) Revision of the site plan to show any fencing, walls or other site enclosures that will provide a permanent perimeter to the site;
- 6) Revision of the site plan to show all existing curb-cuts along all street frontages, and which ones are intended to remain;
- 7) Revision of the site plan to reflect dedication of right-of-way along Broad Street and the provision of corner radii; and
- 8) Consideration of adding a height limit to the B-4 portion of the site as part of the PUD, to ensure contextual consistency with abutting zoning districts.

Planning Approval: The request is recommended for Holdover until the August 6 meeting, with revisions due by July 17, to address the following:

- 1) Revision of the site plan to reflect all areas utilized for parking and maneuvering as being paved in asphalt, concrete or another approved surface, or that a surface variance will be requested;
- 2) Revision of the site plan to ensure that all proposed parking locations can be accessed without having to cross landscape area;
- 3) Provision of a narrative describing how the site improvements, especially on the property fronting Broad Street, will be in accordance with the Bring Back Broad Street initiative and the New Plan for Mobile, in creating an architecturally engaging mixed-use, pedestrian friendly façade and sidewalk;
- 4) Provision of a narrative to describe how use of the residential structures will be restricted to buffer any impacts to adjacent residential uses, and any buffers provided along the West property line;
- 5) Revision of the site plan to show any fencing, walls or other site enclosures that will provide a permanent perimeter to the site;
- 6) Revision of the site plan to show all existing curb-cuts along all street frontages, and which ones are intended to remain; and
- 7) Revision of the site plan to reflect dedication of right-of-way along Broad Street and the provision of corner radii.

Zoning: The request is recommended for Holdover until the August 6 meeting, with revisions due by July 17, to address the following:

- 1) Provision of Voluntary Use Restrictions associated with the previous B-2 rezoning for the current expanded B-2 zoning request; and
- 2) Provision of a narrative describing how the site improvements, especially on the property fronting Broad Street, will be in accordance with the Bring Back Broad Street initiative and the New Plan for Mobile, in creating an architecturally engaging mixed-use, pedestrian friendly façade and sidewalk

Revised for the August 6th meeting:

A revised narrative, site plan and modification to the rezoning request were supplied by the applicant. The two existing single-family residences are no longer included as part of the request, thus the rezoning request only applies to proposed Lot 2: rezoning from R-3, Multiple-Family Residential District, B-1, Buffer Business District, and B-4, General Business District, to B-4, General Business District to eliminate split zoning.

The applicant states the following in the revised narrative:

“Applicant desires to amend the above-referenced applications to remove the two single family, R-1 zoned parcels located in the southwest portion of the original applications. This will mean that these parcels will no longer be the subject of the pending rezoning application, subdivision application, planning approval application, or planned unit development application. The remaining aspects of these four applications, however, will

remain pending. These two R-1 zoned parcels will remain as two legal lots of record outside of the PUD.

The rezoning application now relates only to the elimination of the small R-3 zoning district on Conti Street and the small B-1 zoning district on Dauphin Street to have them match the predominate B-4 zoning classification which exists on Dauphin, Broad, and Conti streets in what will be Parcel 2. This rezoning is necessary to eliminate the split zoning created when the subdivision is complete. The subdivision will turn eight parcels into one parcel which will help eliminate or mitigate a redevelopment challenge facing this area. The change in land use over time has moved to favoring a larger parcel area and thus the older, smaller parcels with mixed zoning ranging from R-3 to B-1 to B-4 is no longer viable.

The proposed use is to leave the existing structures in place and to add two float barns to the interior of Parcel 2. The float barns are not allowed by right, but require Planning Approval in B-4 zoning district, and their deep set back from Broad Street allows the possibility for a future PUD modification to remove the pre-existing structures and build a project directly on the edge of the future sidewalk when and if the Bring Back Broad Street beautification improvements are made. Decreasing the number of vehicular lanes and increasing the sidewalks and bike paths may ultimately bring about a change to the land uses that are viable at this property. At this time, however, it is premature to expect the land uses to have changed to the type of commercial and residential mixed use shown on the New Plan for Mobile when the City has not implemented critical aspects of this plan in the vicinity of the subject property. The contemplated use makes the most consistent use of the property to the New Plan in the absence of the City's implementation, and the massing of the new buildings is consistent with the surrounding developments, including the CVS drug store located across Conti Street. Further, the goal of the New Plan is advanced by this project as it will assemble the undersized parcels into one parcel that is more capable of further redevelopment in the future when and if the Broad Street changes are made. Finally, by leaving the float barns in their contemplated location, we have left them inside the historic district which leads to an additional layer of review and oversight as to their design and appearance. If the float barns were to be re-located in a street facing location directly on Broad Street, then they likely would be outside of the historic district. Even as proposed, the PUD plan does incorporate a mix of uses onto the properties with the float barns and related storage and activity on one side and the social and meeting house uses on the other side.

Applicant also requests permission to use an alternative material of crushed rock, crushed concrete, or crushed aggregate for certain parking and maneuvering areas. This will decrease the amount of impermeable surface area which will help with storm water drainage concerns. The alternative material will be one that is approved for use in historic properties by the appropriate review board, but the application to that board will not likely be heard until after the Planning Commission takes action. One final note, some of the area shown around the perimeter of the old existing building on Parcel 1 show this alternative crushed rock material on the sides of the building, and this is contemplated to provide access to those portions of the building by service providers when needed.”

The revised plans reflect the removal of the single-family residences on Conti Street from the application. With the removal of the dwellings from the rezoning and PUD request, many concerns that have been expressed by citizens have been eased regarding the proposal.

The site plan and plat also depict the dedication of right-of-way along Broad Street, as required.

The revised plan shows that numerous existing curb-cuts will be removed on proposed Lot 2, leaving two curb-cuts onto Dauphin Street, one onto Broad Street, and one onto Conti Street. A right-in only curb-cut for Lot 2 on Dauphin Street will be gated, and the curb-cut on Conti Street will also be gated: the gates are proposed to be setback between 20 to 30 feet from the respective rights-of-way. The six-foot high ornamental fence depicted around most of the outside perimeter of Lot 2 appears to break at the proposed curb-cut onto Broad Street, thus it appears that this access point will not be gated. There is nothing on the plan to indicate that the two access points for Lot 1 will have any gates, however, the ornamental fence will be placed along Lot 1's frontage along Dauphin Street, stopping before the curb-cut.

Staff has concerns regarding the tree and landscape aspects of the plan. The site plan shows three existing live oaks at the Conti/Broad Street intersection as being on private property when it actually appears that the trees are between the sidewalk and the curb, within the public right-of-way on Conti Street. Also, given the existing number of live oak trees on or adjacent to the property, the proposed tree planting depicted on the site plan may result in an overplanting and overcrowding situation, as most of the proposed over story trees will have to be live oak trees due to overhead power lines. Staff suggests that the Planning Commission allow the applicant to coordinate tree plantings with staff, with the understanding that some tree banking may be required.

The site plan depicts a 6-foot high wooden privacy fence where the site abuts R-1 property on the Western side of the site. This fence should be provided prior to use of the site.

The applicant has explained the request for crushed concrete surfacing in the float parking and maneuvering area, and crushed rock in the service yard area. A paved apron should be provided at any curb-cut entering into the alternate surfacing area if required by Engineering and Traffic Engineering, to be coordinated with Engineering and Traffic Engineering. Additionally, the crushed rock and crushed concrete areas should have barriers such as bumper stops to prevent vehicles from encroaching into landscape areas or into the adjacent right-of-way. Bumper stops should also be required for those paved parking spaces abutting landscape areas or near property lines.

Finally, any new lighting on the site must comply with Sections 64-4.A.2., 64-6.A.3.c. and, if applicable, Section 64-6.A.8. of the Zoning Ordinance.

RECOMMENDATION

Subdivision: The request is recommended for Tentative Approval, subject to the following conditions:

- 1) Dedication of right-of-way along Broad Street, as depicted on the revised preliminary plat;
- 2) Placement of a note on the plat stating that Lot 1 is limited to one curb-cut to Dauphin Street and one curb-cut to Conti Street;
- 3) Placement of a note on the plat stating that Lot 2 is limited to two curb-cuts to Dauphin Street, one curb-cut to Broad Street, and one curb-cut to Conti Street;
- 4) Placement of a note on the plat stating that all unused curb-cuts are to be removed, with appropriate permits for work in city and ALDOT rights-of-way;
- 5) Placement of a note on the plat stating that the size, design and location of all curb-cuts are to be approved by Traffic Engineering (and ALDOT on Broad Street), and to comply with AASHTO standards;
- 6) Compliance with Engineering comments (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*
A. Revise the "Site" shown in the vicinity map to match the parcels shown in Subdivision Plan. B. Provide a line that clearly depicts the proposed subdivision boundary. C. Provide a Subdivision Name. The proposed name shown on the Subdivision Plan does not appear to adequately describe the proposed resubdivision of these 11 parcels. D. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. E. Add a note to SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. F. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 29 - #76) the Lot(s) will receive historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application. G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. I. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. J. Provide a written legal description for the proposed subdivision and matching bearing and distance labels. K. Show and label all flood zones. L. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. M. Show and label each and every Right-Of-Way and easement. N. Provide and label the monument set or found at each subdivision corner. O. Add a

signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. P. Provide the Surveyor's Certificate and Signature. Q. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. R. Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer's signature. S. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);

- 7) *Compliance with Traffic Engineering comments (Broad Street is an ALDOT maintained roadway. Driveway number, size, location and design are subject to the approved PUD for this site, and shall be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. All unused curb-cuts abutting the proposed site work should be removed. Curb stops should be provided to prevent vehicle parking in the landscape areas.);*
- 8) *Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 80" Live Oak Tree located on the North side of Lot 1 and the 60" Live Oak Tree located on the West side of Lot 1. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.);*
- 9) *Compliance with Fire comments (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)); and*
- 10) *Provision of a revised PUD and a revised Planning Approval site plan prior to any request for permits for work on Lot 2, and prior to the signing of the final plat.*

Planned Unit Development: *The request is recommended for Approval, subject to the following conditions:*

- 1) *Curb-cuts limited to the revised site plan, with all unused curb-cuts to be removed prior to a certificate of occupancy for the proposed float barns;*
- 2) *Revision of the site plan to depict any paved curb-cut aprons leading to the crushed rock or concrete surfaces, to be coordinated with Engineering and Traffic Engineering if such aprons are required;*
- 3) *Revision of the site plan to show the three existing live oak trees on Conti Street at Broad Street as being within the public right-of-way, between the sidewalk and the curb, rather than on Lot 2;*
- 4) *Coordination with Planning staff regarding the location and spacing of proposed trees on the site, with the understanding that tree banking may be required;*
- 5) *Provision of a six-foot high wooden privacy fence along the Western boundary of the property where it abuts R-1 properties prior to the use of the site;*
- 6) *Revision of the site plan to show bumper stops for paved parking areas abutting property lines or landscape areas;*
- 7) *Revision of the site plan to show bumper stops or similar barriers around the crushed rock and crushed concrete areas to prevent vehicles from encroaching into landscape areas or across property lines;*

- 8) Any new lighting on the site to comply with Sections 64-4.A.2., 64-6.A.3.c. and, if applicable, Section 64-6.A.8. of the Zoning Ordinance;
- 9) Compliance with Engineering comments (*ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.);*
- 10) Compliance with Traffic Engineering comments (*Broad Street is an ALDOT maintained roadway. Driveway number, size, location and design are subject to the approved PUD for this site, and shall be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. All unused curb-cuts abutting the proposed site work should be removed. Curb stops should be provided to prevent vehicle parking in the landscape areas.*);
- 11) Compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 80" Live Oak Tree located on the North side of Lot 1 and the 60" Live Oak Tree located on the West side of Lot 1. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.*);
- 12) Compliance with Fire comments (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code));*
- 13) Provision of a revised PUD site plan to the Planning Division prior to the signing of the final plat; and
- 14) Full compliance with all other municipal codes and ordinances.

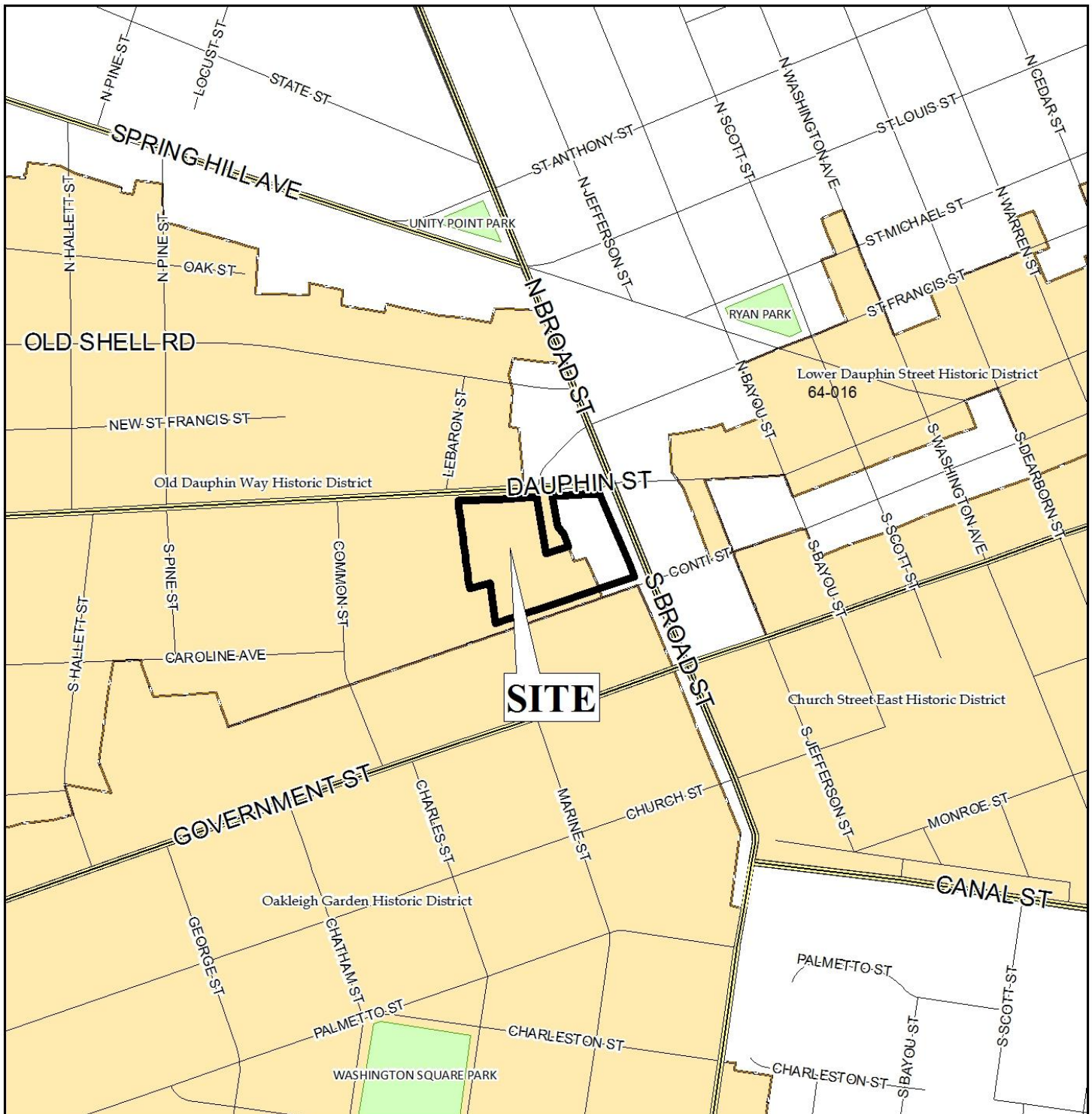
Planning Approval: *The request is recommended for Approval, subject to the following conditions:*

- 1) Limited to the proposed scope of operations and an approved Planned Unit Development;
- 2) Revision of the site plan to reflect PUD site plan revisions;
- 3) Completion of the zoning process;
- 4) Completion of the subdivision process;
- 5) Provision of a revised Planning Approval site plan to the Planning Division prior to the signing of the final plat; and
- 6) Full compliance with all other municipal codes and ordinances.

Zoning: *The request is recommended for Approval, subject to the following conditions:*

- 1) Limited to an approved Planned Unit Development;
- 2) Completion of the Subdivision process; and
- 3) Full compliance with all other municipal codes and ordinances.

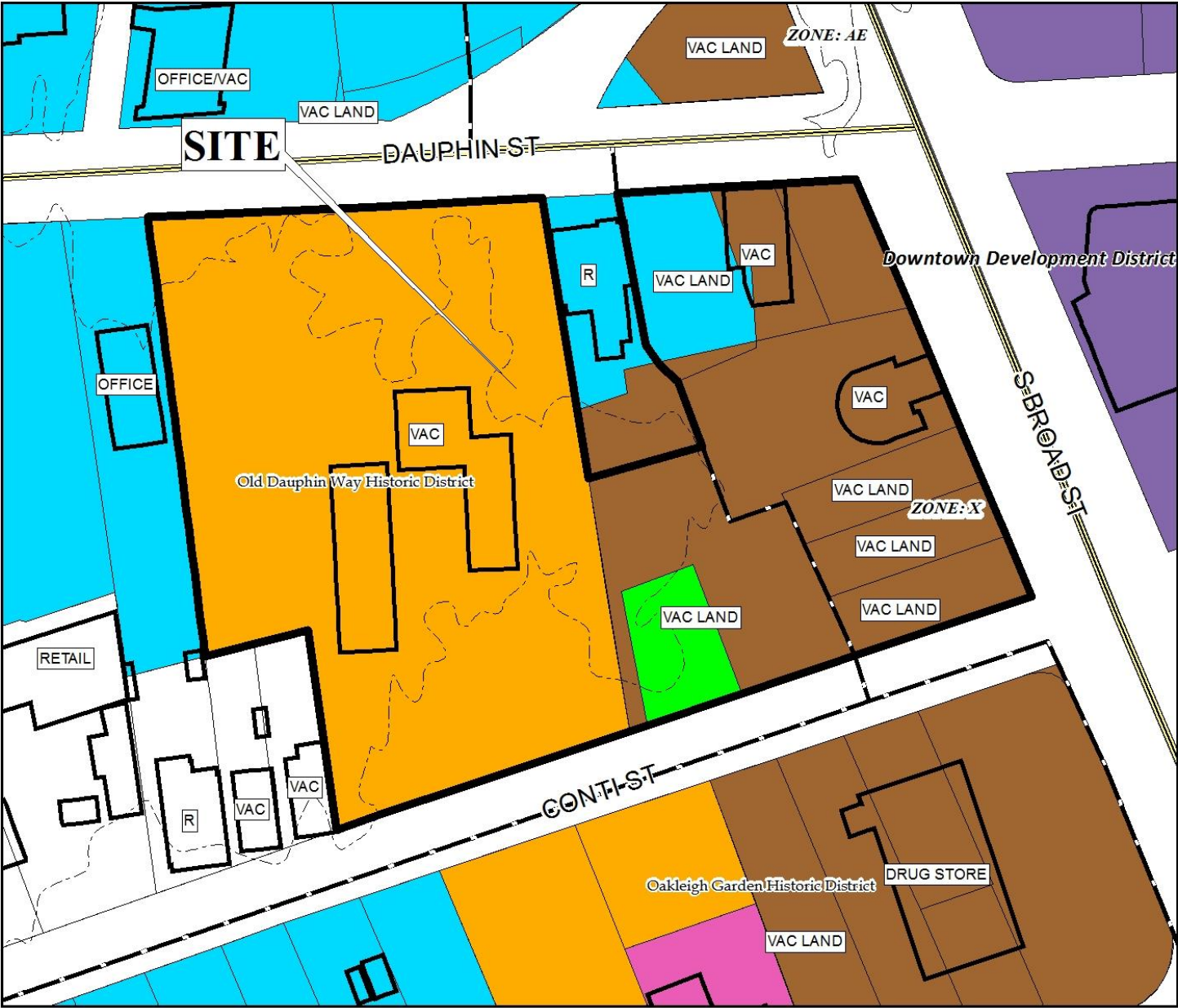
LOCATOR MAP



APPLICATION NUMBER 6 DATE August 6, 2015
APPLICANT Lone Oak Subdivision, Lot 1, Resubdivision of Lot 1 / Lot 2
REQUEST Subdivision, PA, PUD, Rezoning from R-3, B-1, & B-4 to B-4



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING




The site is surrounded my residential and commercial units.



APPLICATION NUMBER 6 DATE August 6, 2015

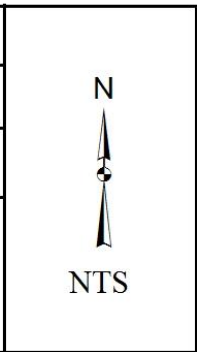
APPLICANT Lone Oak Subdivision, Lot 1, Resubdivision of Lot 1 / Lot 2

REQUEST Subdivision, PA, PUD, Rezoning from R-3, B-1, & B-4 to B-4

 R-A
  R-3
  T-B
  B-2
  B-5
  MUN
  SD-WH
  T5.1

 R-1
  R-B
  B-1
  B-3
  I-1
  OPEN
  T3
  T5.2

 R-2
  H-B
  LB-2
  B-4
  I-2
  SD
  T4
  T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

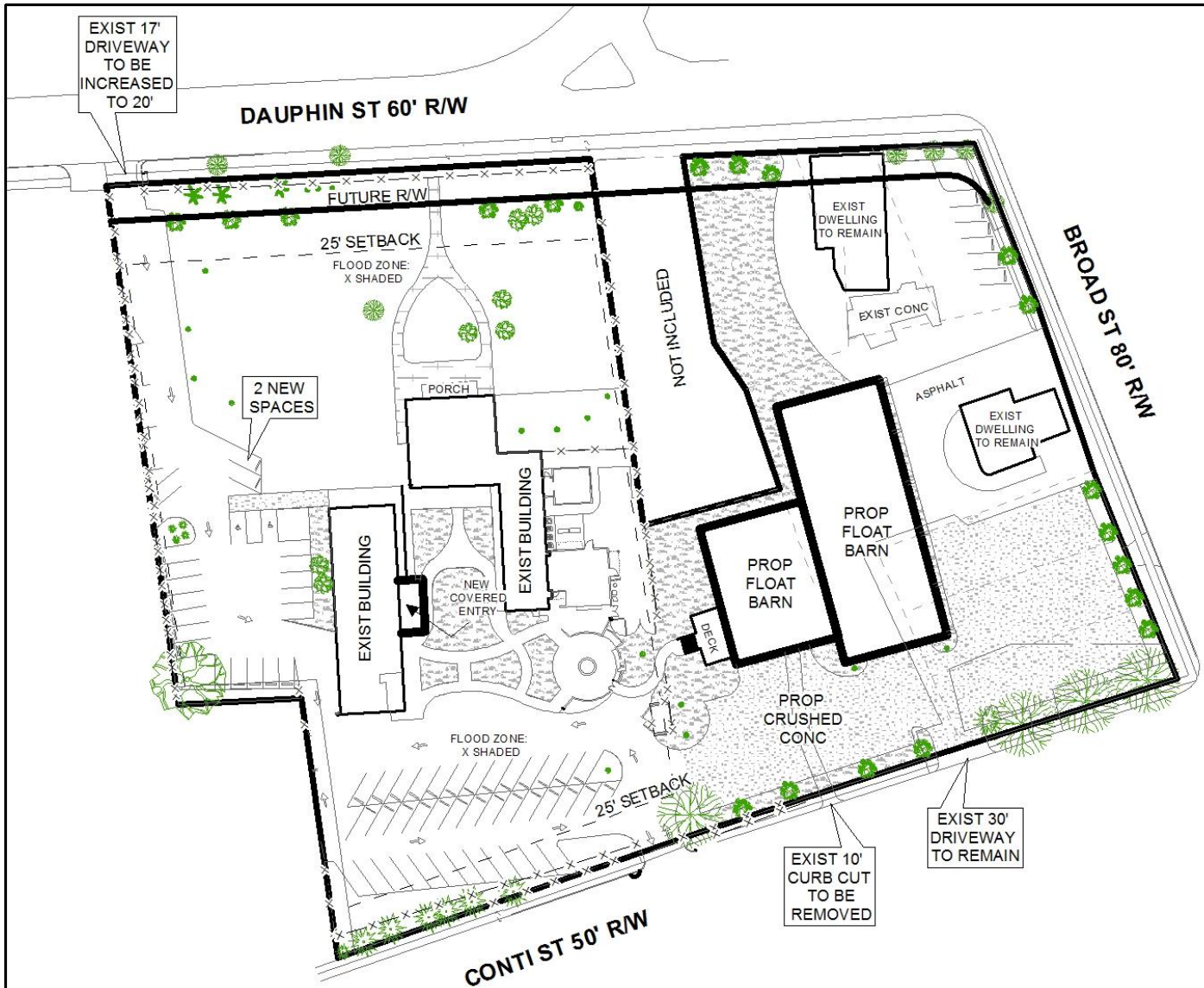


The site is surrounded by residential and commercial units.

APPLICATION NUMBER 6 DATE August 6, 2015
APPLICANT Lone Oak Subdivision, Lot 1, Resubdivision of Lot 1 / Lot 2
REQUEST Subdivision, PA, PUD, Rezoning from R-3, B-1, & B-4 to B-4



SITE PLAN

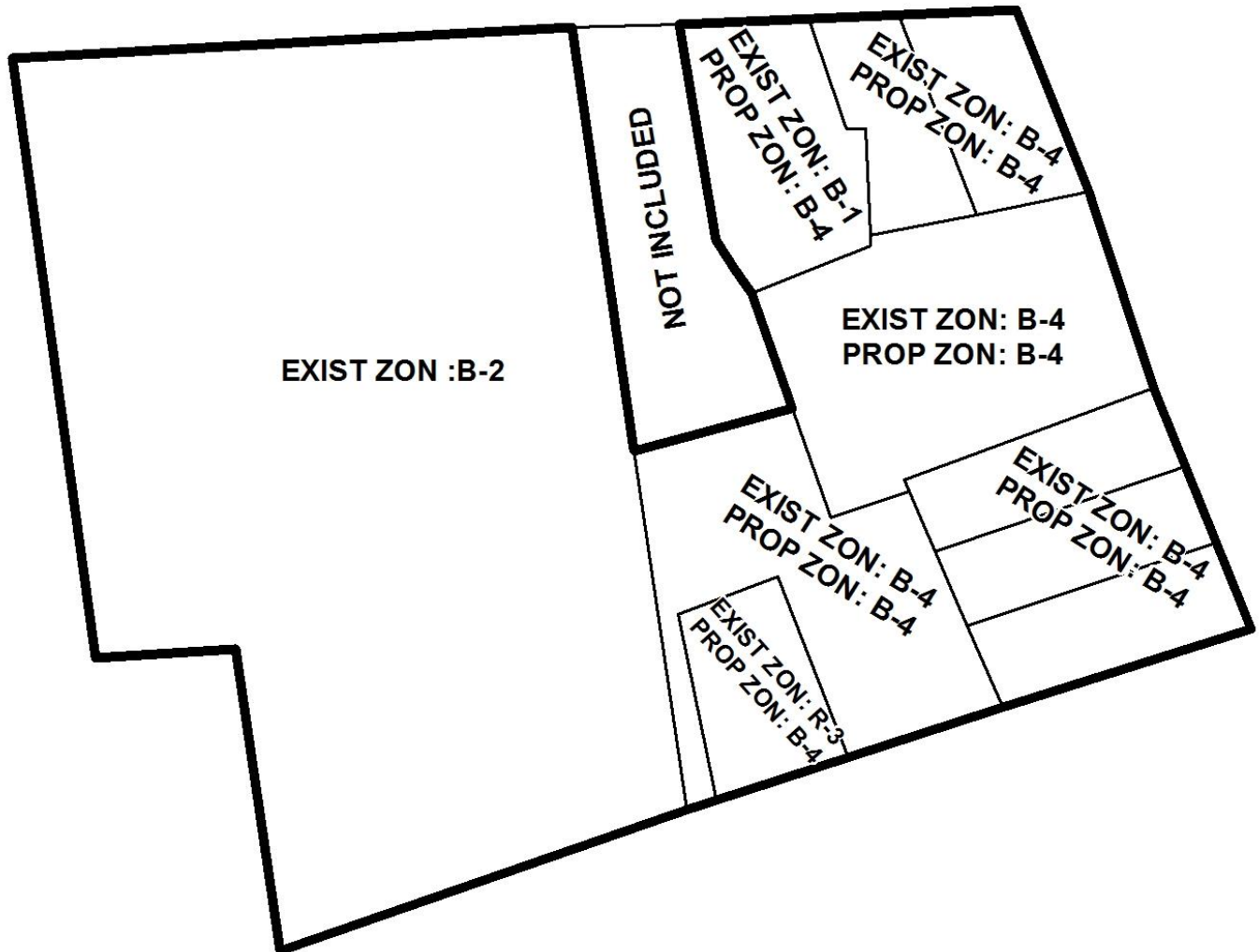


The site plan illustrates the existing dwellings, the proposed float barns, drives, parking, and setbacks.

APPLICATION NUMBER 6 DATE August 6, 2015
 APPLICANT Lone Oak Subdivision, Lot 1, Resubdivision of Lot 1 / Lot 2
 REQUEST Subdivision, PA, PUD, Rezoning from R-3, B-1, & B-4 to B-4



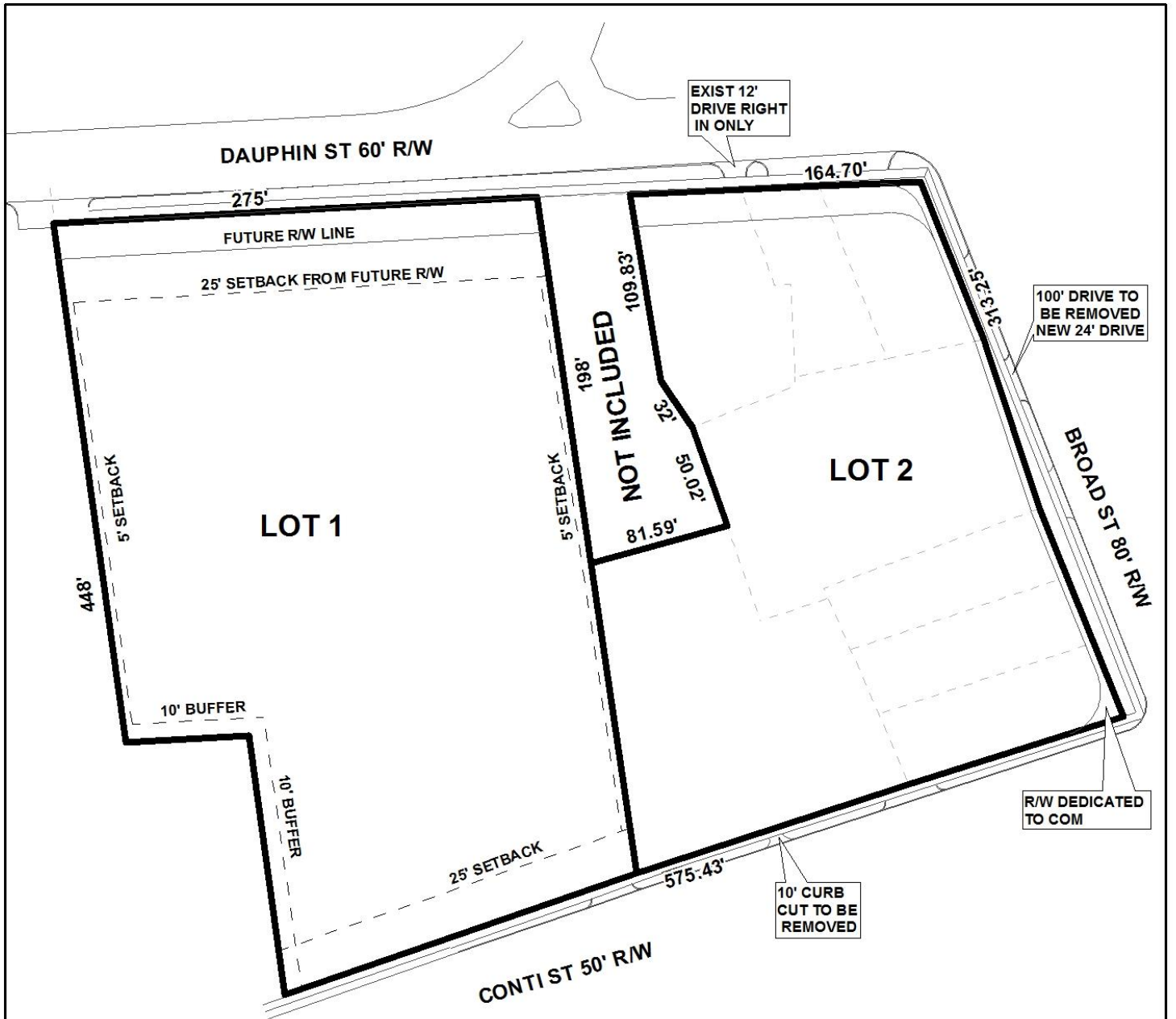
DETAIL SITE PLAN



APPLICATION NUMBER 6 DATE August 6, 2015
APPLICANT Lone Oak Subdivision, Lot 1, Resubdivision of Lot 1 / Lot 2
REQUEST Subdivision, PA, PUD, Rezoning from R-3, B-1, & B-4 to B-4



DETAIL SITE PLAN



APPLICATION NUMBER 6 DATE August 6, 2015
APPLICANT Lone Oak Subdivision, Lot 1, Resubdivision of Lot 1 / Lot 2
REQUEST Subdivision, PA, PUD, Rezoning from R-3, B-1, & B-4 to B-4

