

**SIDEWALK WAIVER REQUEST
STAFF REPORT****Date: August 20, 2015****NAME**

Hamilton Blvd, (AL), LLC

LOCATION4531 Hamilton Boulevard
(South side of Hamilton Boulevard, 2/10[±] mile West of
Rabbit Creek Drive).**PRESENT ZONING**

I-1, Light Industry District

ENGINEERING**COMMENTS**

Due to the size of the existing roadside drainage ditch which would prohibit the extension of a sidewalk in the future, and the limited space between the existing site improvements and the edge of the ditch, it is recommended that this request be approved.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

REMARKS

The applicant is requesting a waiver for the construction of a sidewalk along Hamilton Boulevard.

The sidewalk waiver site is developed and the applicant has recently applied for a land disturbance permit to further develop a laydown yard. The applicant states that a sidewalk is not possible due to the proximity of the roadside ditch along Hamilton Boulevard.

Hamilton Boulevard, a major street with a 100' right-of-way width, has a three lane cross-section at this location and is characteristic of an open ditch roadway. There is currently no sidewalk along Hamilton Boulevard; however, the area was brought into the City of Mobile in 2009 when the applicant site and adjacent properties had already been developed, or partially developed. It should be noted, though, that a majority of the vicinity is undeveloped. As these neighboring sites are developed or re-developed, sidewalks will be required.

It should be noted that the Mobile City Council adopted a "complete streets" policy on May 31, 2011. The purpose of the complete streets policy is to support the design and construction of streets to enable safe access to all users, including pedestrians, bicyclists, transit riders, motorists, commercial and emergency vehicles, and for people of all ages and abilities. A waiver of the sidewalk, as requested, will limit accessibility for pedestrians.

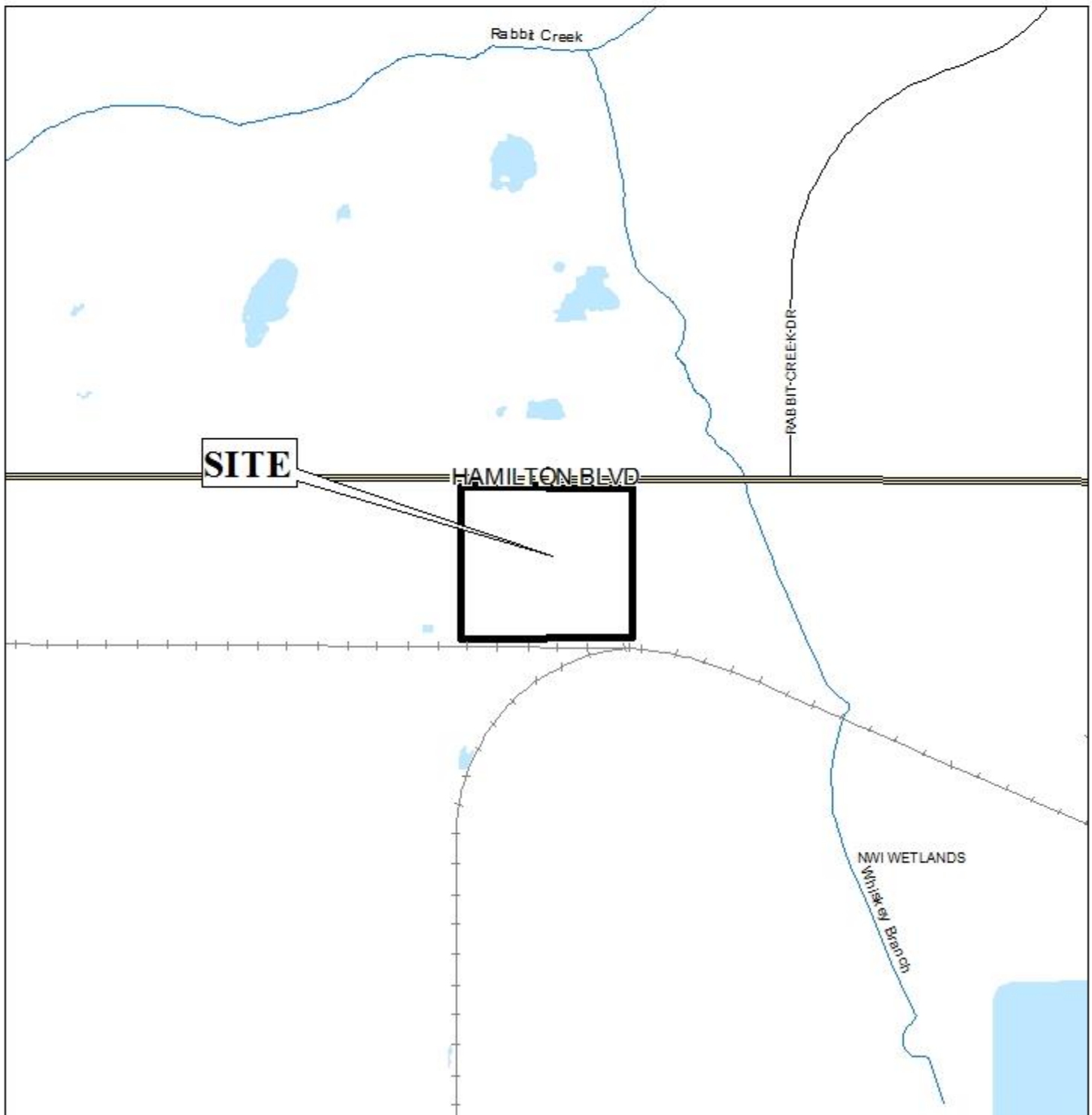
The site is primarily surrounded by other I-1, Light Industry Districts and I-2, Heavy Industry Districts to the East, South and West. To the North are primarily R-A, Residential-Agricultural Districts, however they appear to be primarily industrially developed with a few residences.

Because the area is primarily industrially developed, it would appear that pedestrian traffic in the vicinity is minimal and would not likely increase due to the inherent conditions of such development. Also, because Hamilton Boulevard is lined with open ditches, the topography at the shoulder of the road does not lend itself to a sidewalk. Given such conditions, a waiver of the construction of the sidewalk along Hamilton Boulevard may be appropriate at this time. Additional development or redevelopment of this site in the future may allow for re-evaluation.

RECOMMENDATION

Based upon the preceding, this application for waiver of the sidewalk along Hamilton Boulevard is recommended for approval; however future development or re-development of the site will necessitate a new application.

LOCATOR MAP



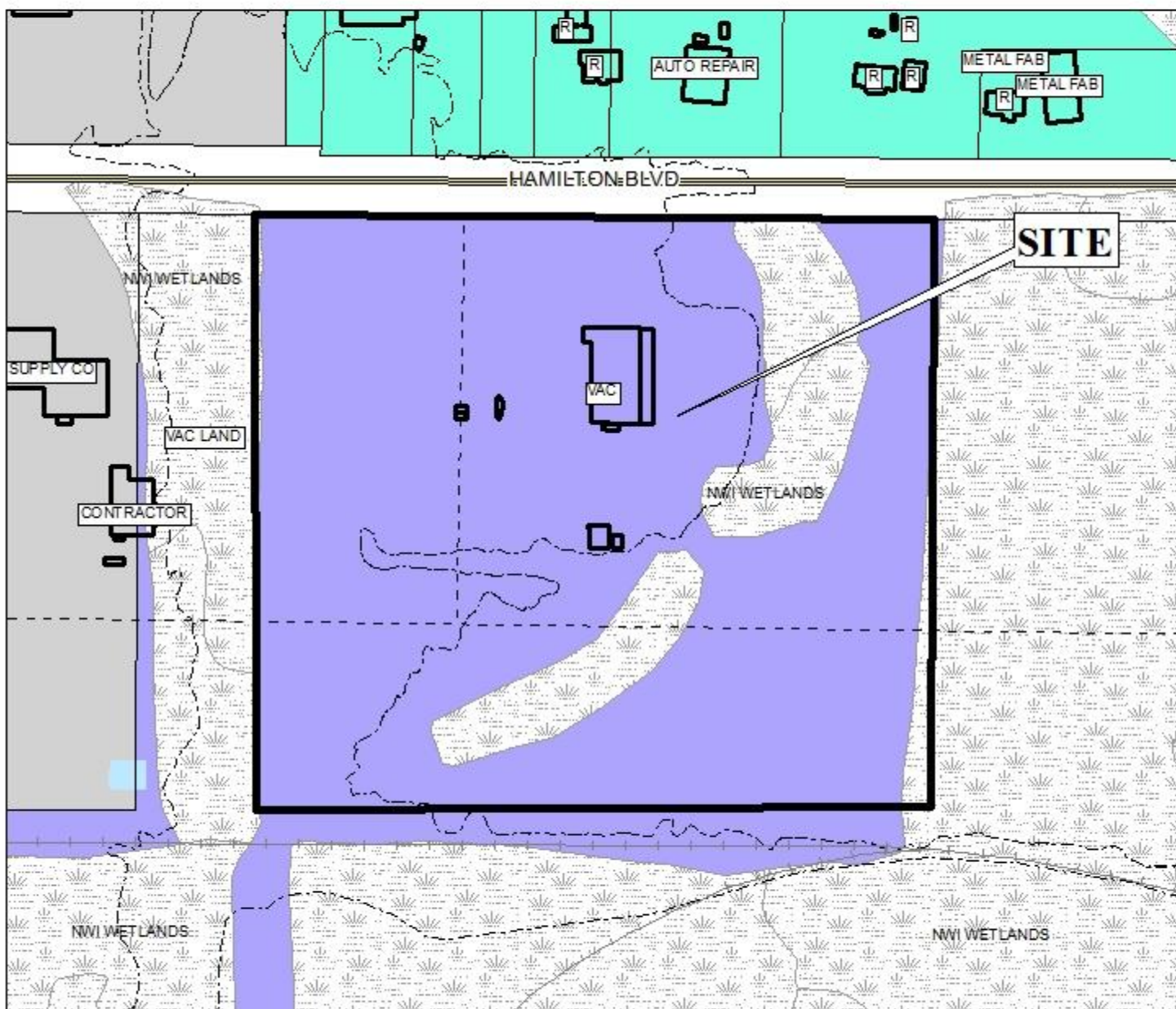
APPLICATION NUMBER 6 DATE August 20, 2015

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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units and commercial units.

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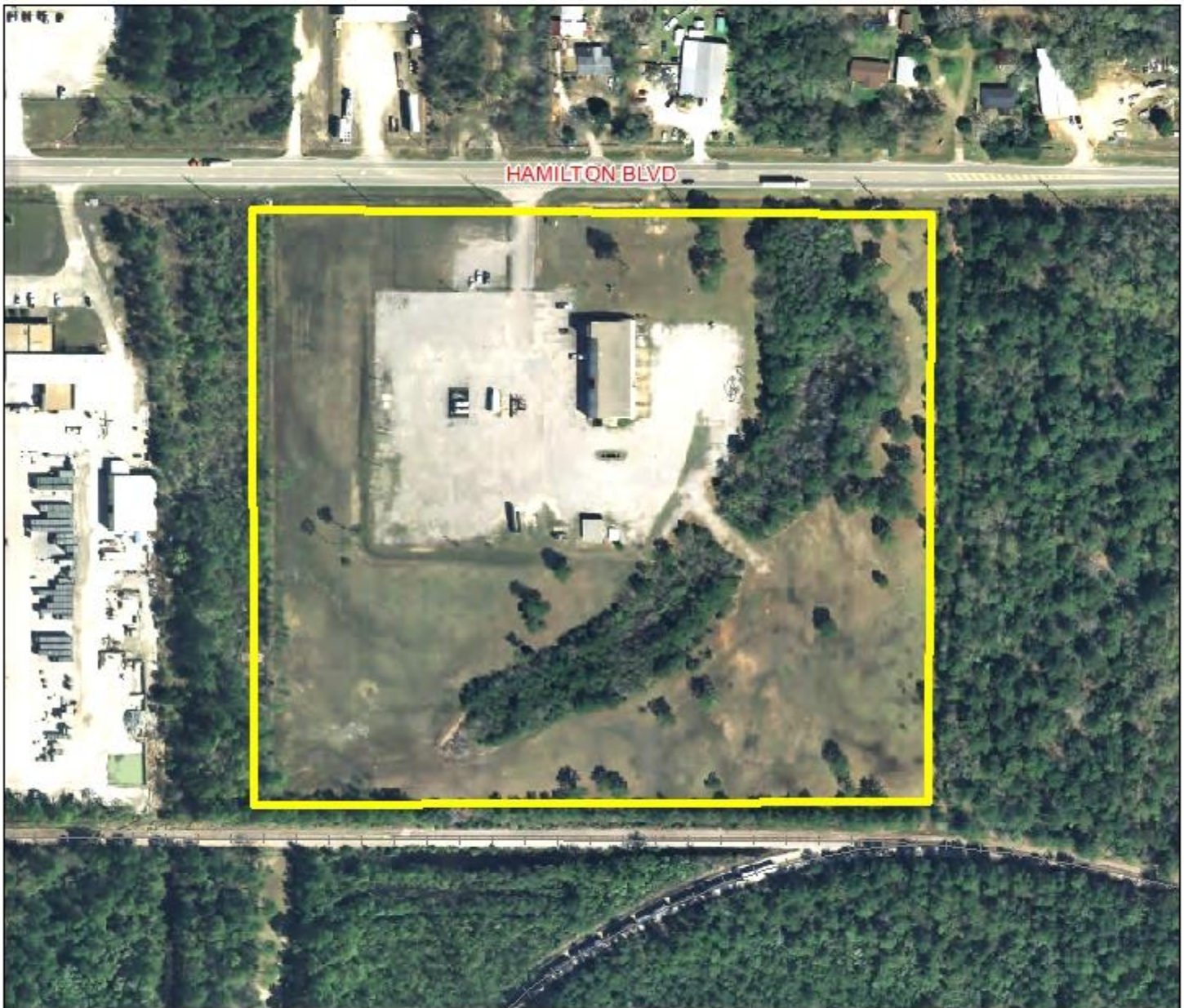
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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units and commercial units.

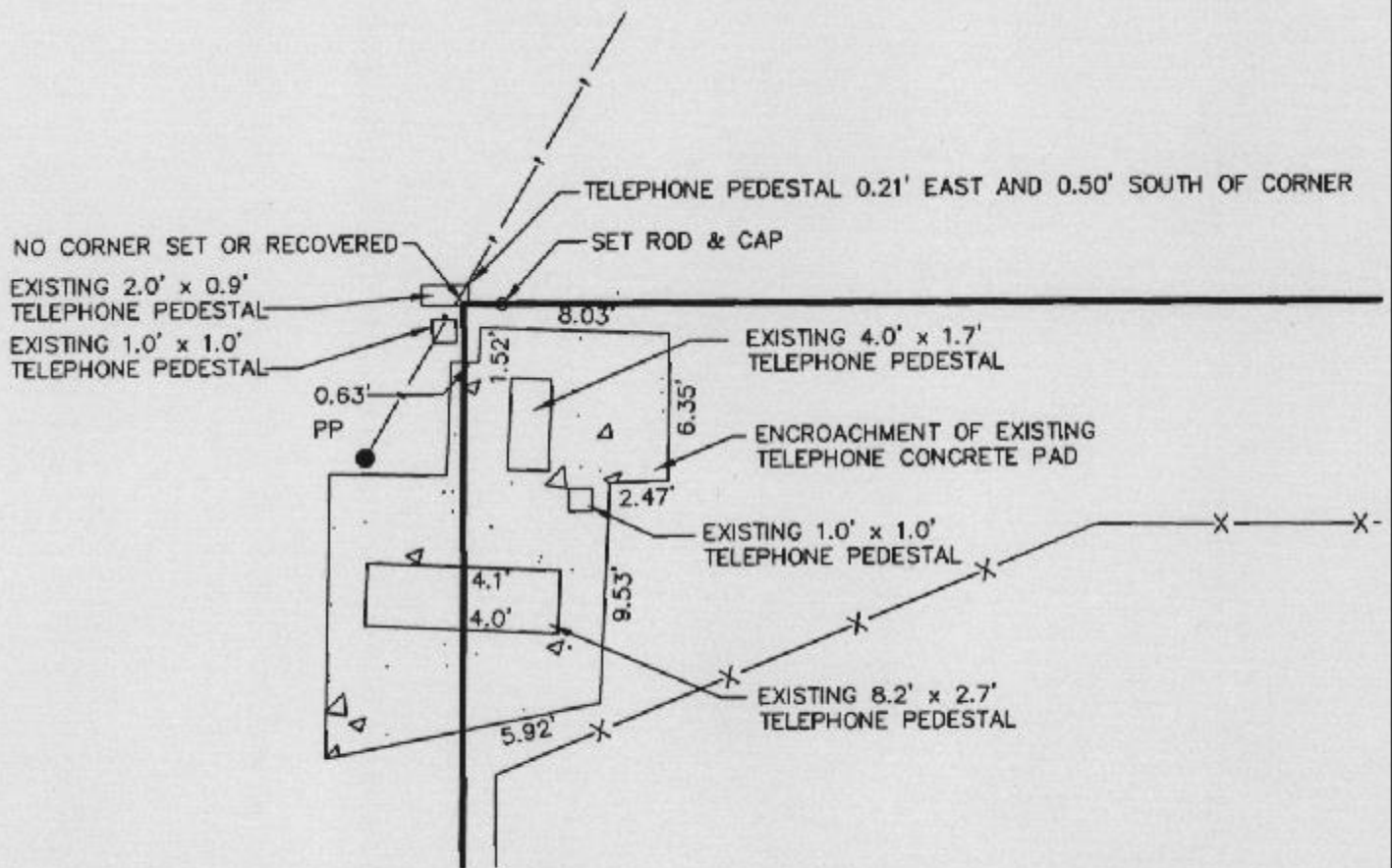
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DETAIL SITE PLAN



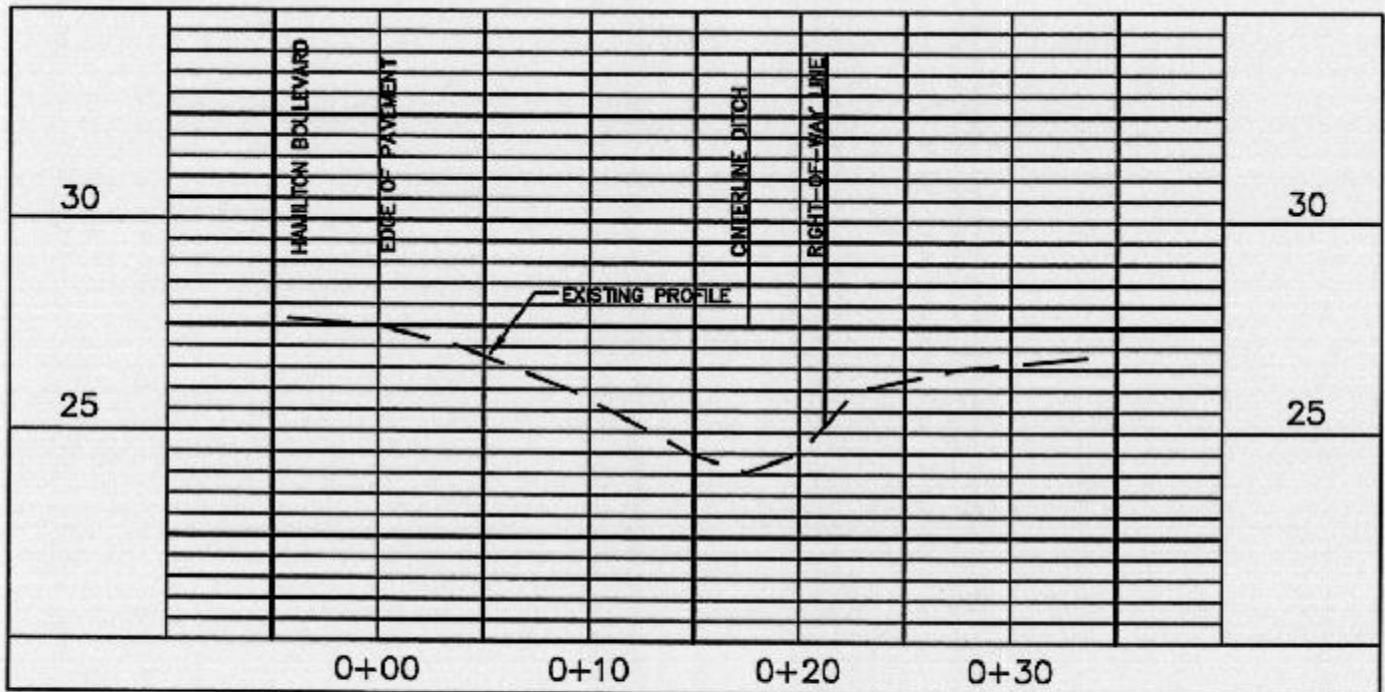
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DETAIL SITE PLAN



TYPICAL DITCH CROSS SECTION

SCALE: 1" = 10' HORIZ.
1" = 5' VERTICAL

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