

GOVERNMENT STREET AT MICHIGAN AVENUE
PLAT #1 SUBDIVISION, A RESUBDIVISION OF THE
MAJOR PORTION OF LOTS 1, 2, 3, AND A PORTION
OF LOT 4 OF GLENDALE PARK SUBDIVISION

Engineering Comments: Need to provide a 25' radius to be dedicated to the City at the intersection of Government St and Michigan Avenue. On the plat, rename Government Boulevard to Government Street and indicate the ROW widths on Government St and Michigan Avenue. Also on the plat, expand the flood zone designation of Zone X to show that the property is located in Zone X-Unshaded. Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet since 1984 will require detention. Drainage from the site needs to tie subsurface to a City maintained system. The receiving system will need to be analyzed to show that it has the capacity to receive drainage from the site. Any work performed in the right of way will require a right of way permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until a Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 0.4± acre, 1-lot subdivision which is located on the Southwest corner of Government Street and Michigan Avenue, and is in Council District 2. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create one legal lot of record from one metes-and-bounds tax parcel, which consists of portions of four lots of record. Mobile County Revenue Department online records document the parcel at least back to 1972, and the legal description on the plat is from 1971. The property has changed hands several times since 1972.

The site fronts Government Street and Michigan Avenue, both proposed major streets. The plat does not indicate the right-of-way width, as required. The right-of-way for Government Street

should 100', and the right-of-way for Michigan Avenue should be 100'. Furthermore, dedication of the corner radius per Section V.D.6. of the Subdivision Regulations should be required.

The preliminary plat incorrectly labels Government Street as "Government Boulevard", and should be corrected if approved.

The 25-foot minimum building setback line, required in Section V.D.9. of the Subdivision Regulations, is not shown for the subdivision, and should be shown along all frontages, if approved. It should be noted that a variance was granted by the Board of Zoning Adjustment at its December 6, 1993 meeting to allow an encroachment on the front setback along Government Street for the existing canopy over the gas pumps, however, no future development would be allowed in the front setback without another variance being granted.

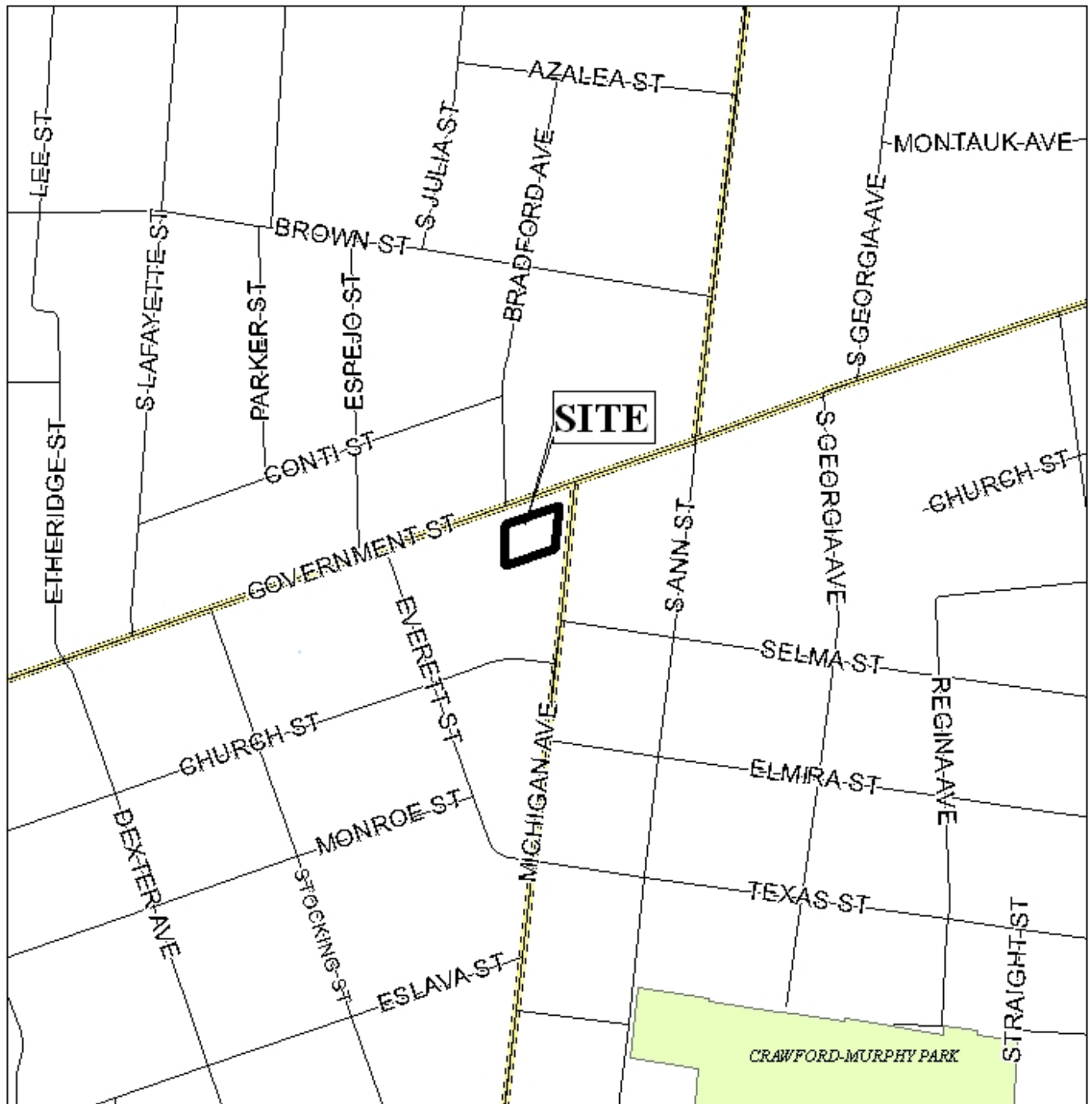
The site currently has two curb cuts each onto Government Street and Michigan Avenue, however the site should be limited to one curb cut each on Government Street and Michigan Avenue. It would be preferable that both curb cuts closest to the intersection be closed in order to ease congestion. Also of note is that the existing curb cuts are much larger than is typical, with the narrowest being 40'± and the widest 53'±. Any modifications to existing curb cuts will require the approval of Traffic Engineering and the Alabama Department of Transportation. Closed curb cuts should be landscaped to match existing.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for holdover until the June 2nd meeting, with revisions due by May 19th, so that the following items can be addressed:

- 1) show right-of-way widths, with dedication if necessary;
- 2) show corner radius dedication;
- 3) depict and label 25' setback, reflecting any required dedication;
- 4) revise lot size to reflect dedication;
- 5) correct Government Street label; and
- 6) provide documentation regarding the partial lots, and when the parcel was created.

LOCATOR MAP

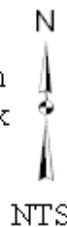


APPLICATION NUMBER 6 DATE May 5, 2011

Government at Michigan Avenue Plat #1 Subdivision, A Resubdivision
of the Major Portion of Lots 1,2,3 and a Portion of Lot 4 Glendale Park

APPLICANT Subdivision

REQUEST Subdivision



NTS

**GOVERNMENT AT MICHIGAN AVENUE PLAT # 1 SUBDIVISION, A
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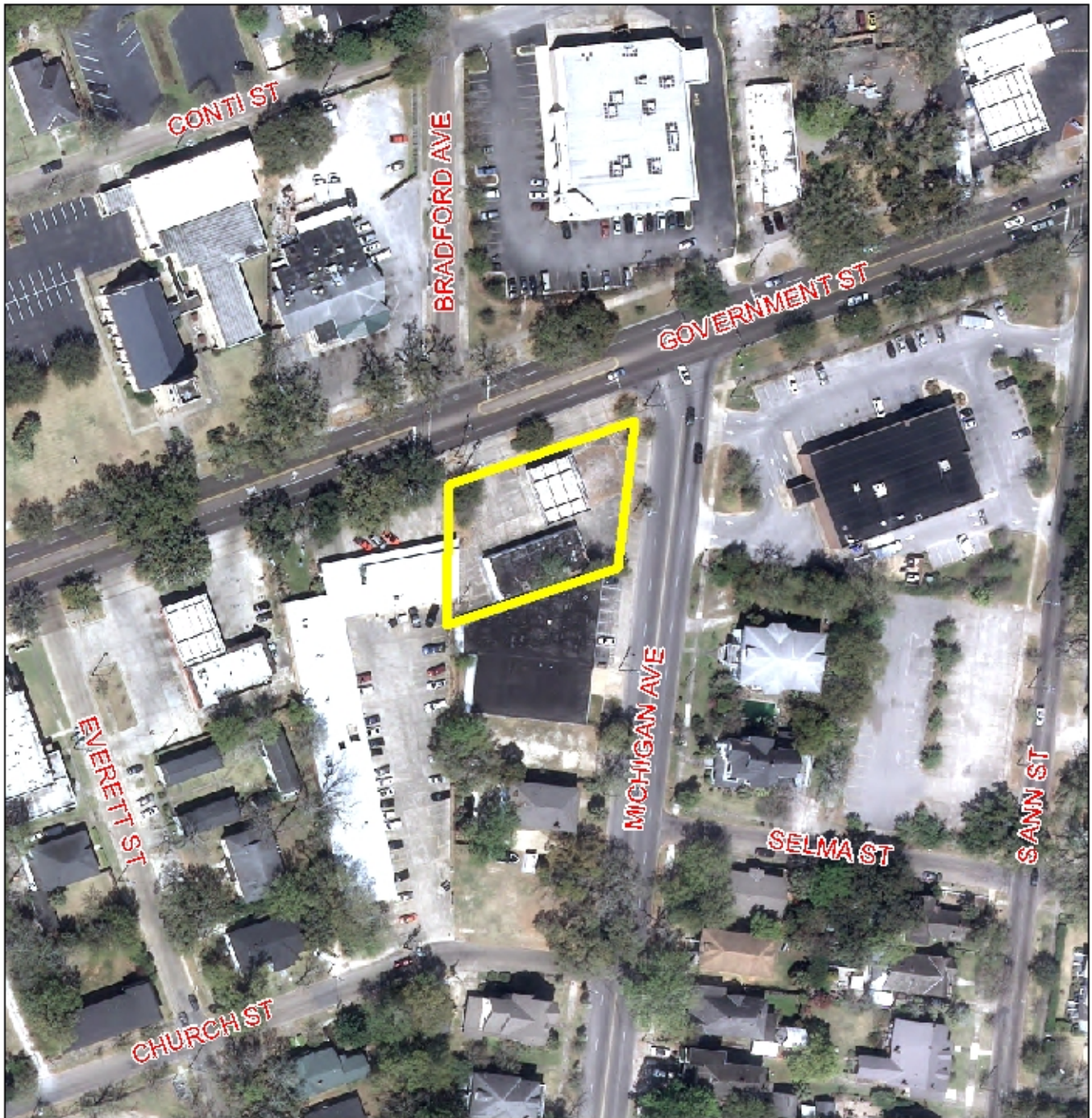
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LEGEND

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| | | | | | | | | | | | | | | |
| R-1 | R-2 | R-3 | R-A | R-B | H-B | T-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |



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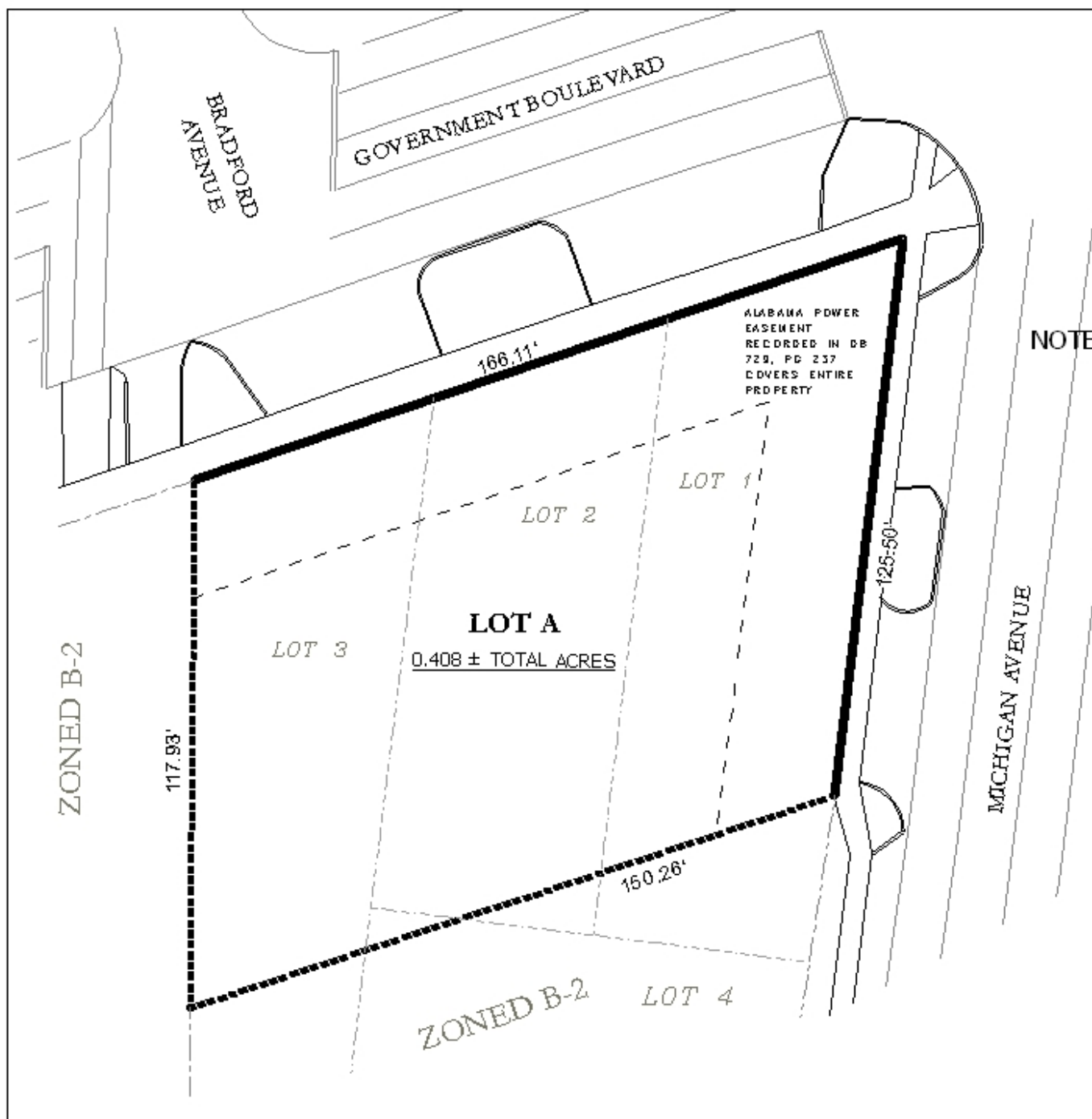


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NTS

DETAIL SITE PLAN



APPLICATION NUMBER 6 DATE May 5, 2011

APPLICANT Government at Michigan Avenue Plat # 1 Subdivision, A Resubdivision of the Major Portion of Lots 1, 2, 3 and a Portion of Lot 4 of Glendale Park Subdivision

REQUEST Subdivision

