

GOLDEN GLOW FARMS SUBDIVISION, **RESUBDIVISION OF LOTS 7 - 9**

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- B. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- C. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering Comments: Lot A is limited to its existing curb cuts and Lot B is limited to one-curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 2-lot, 6.6± acre subdivision, which is located on the North side of Halls Mill Road, 60'± West of West I-65 Service Road South, in Council District 4. The applicant states the site is served by city water and sewer services.

The purpose of this application is to re-subdivide three existing legal lots of record into two legal lots of record. Existing Lots 7 and 8 are vacant. Approximately the front half of Lot 9 is developed and would become Lot A. The vacant rear portion of Lot 9 would be joined with Lots 7 and 8 to create Lot B.

The site fronts onto Halls Mill Road, a collector street, with a required 70' right-of-way and a current 60' right-of-way. Although not indicated on the plat, the subject site scales to have a current and compliant 35' to the centerline of Halls Mill Road. Therefore, the plat should be revised to either indicate a current and compliant 35' from the centerline of Halls Mill Road, or dedication should be required to provide 35' from the centerline of Halls Mill Road. As a means of access management, a note should be required on the Final Plat stating that Lot A is limited to

its existing curb cuts and Lot B is limited to one-curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

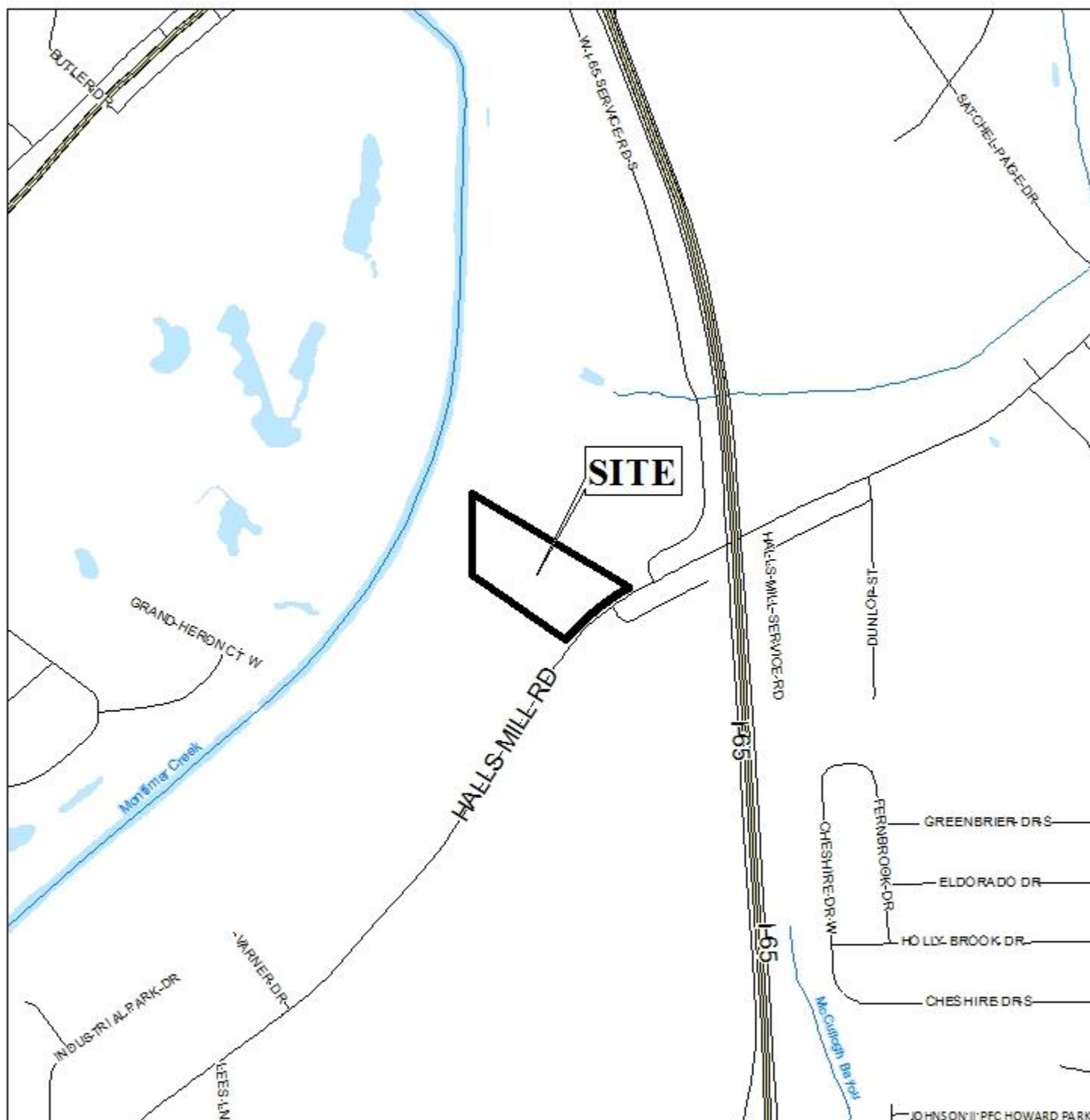
Each lot meets the minimum area and width requirements of the Subdivision Regulations. The plat should be revised to label each lot with its size in both square feet and acres, after any required dedication, or a table should be furnished on the Final Plat providing the same information. The plat should also be revised to illustrate the 25' minimum building setback line along Halls Mill Road, as measured from any required dedication.

Lot B would exceed the maximum depth-to-width ratio of Section V.D.3. of the Subdivision Regulation; however, there have been other Subdivisions in the area approved by the Commission with similar situations. Therefore, a waiver of that section would be in order.

With a waiver of Section V.D.3., the plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:

- 1) revision of the plat to either indicate a current and compliant 35' from the centerline of Halls Mill Road, or dedication to provide 35' from the centerline of Halls Mill Road;
- 2) placement of a note on the Final Plat stating that Lot A is limited to its existing curb cuts and Lot B is limited to one-curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 3) revision of the plat to label each lot with its size in both square feet and acres, after any required dedication, or the furnishing of a table on the Final Plat providing the same information;
- 4) revision of the plat to illustrate the 25' minimum building setback line along Halls Mill Road, as measured from any required dedication;
- 5) subject to the Engineering comments: *(The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. B. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. C. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);*
- 6) subject to the Traffic Engineering comments: *(Lot A is limited to its existing curb cuts and Lot B is limited to one-curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 7) subject to the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64)]; and*
- 8) subject to the Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.)*

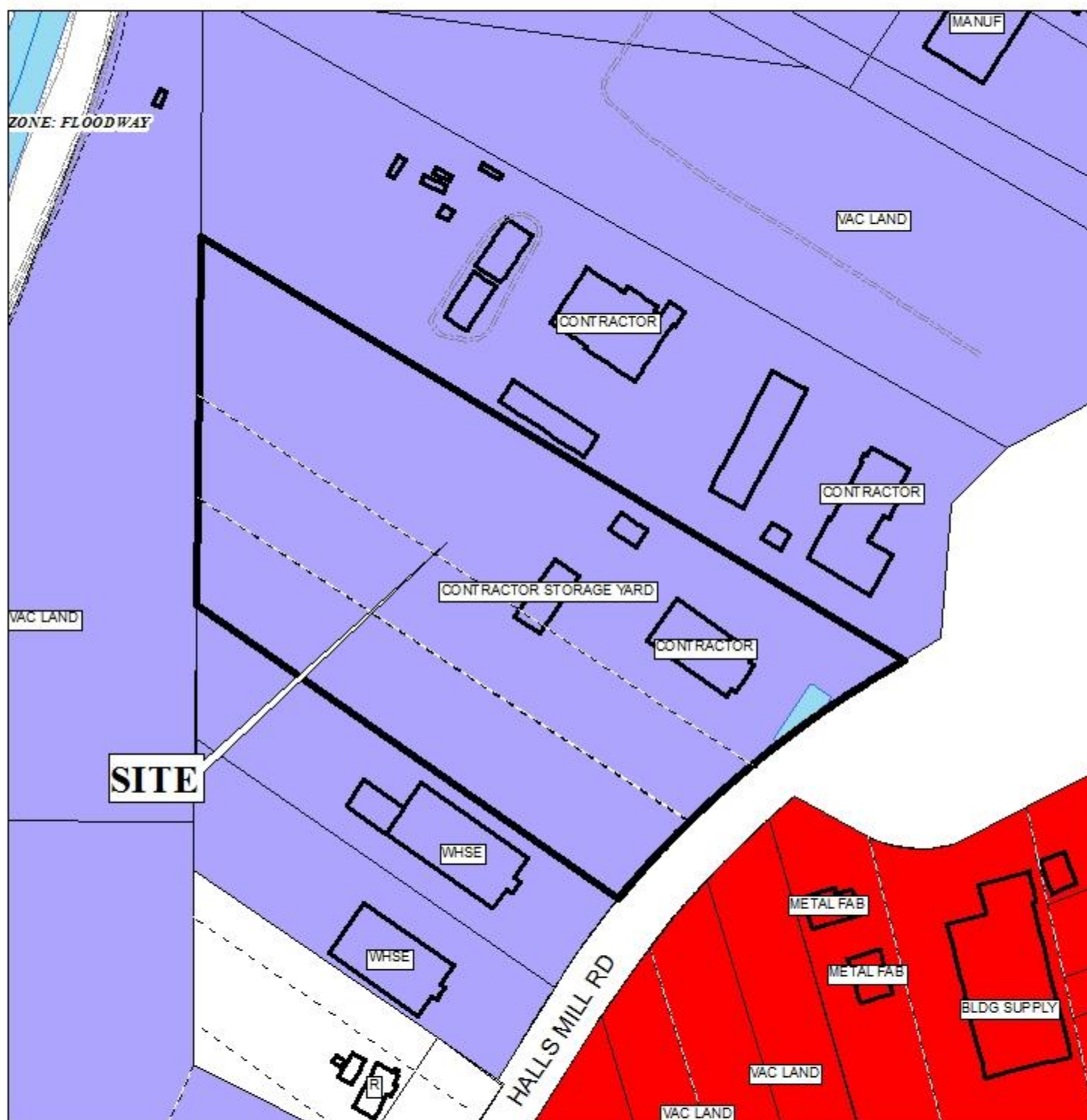
LOCATOR MAP



APPLICATION NUMBER 6 DATE April 2, 2015
APPLICANT Golden Glow Farms Subdivision, Resubdivision of Lots 7-9
REQUEST Subdivision



GOLDEN GLOW FARMS SUBDIVISION, RESUBDIVISION OF LOTS 7-9



APPLICATION NUMBER 6 DATE April 2, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



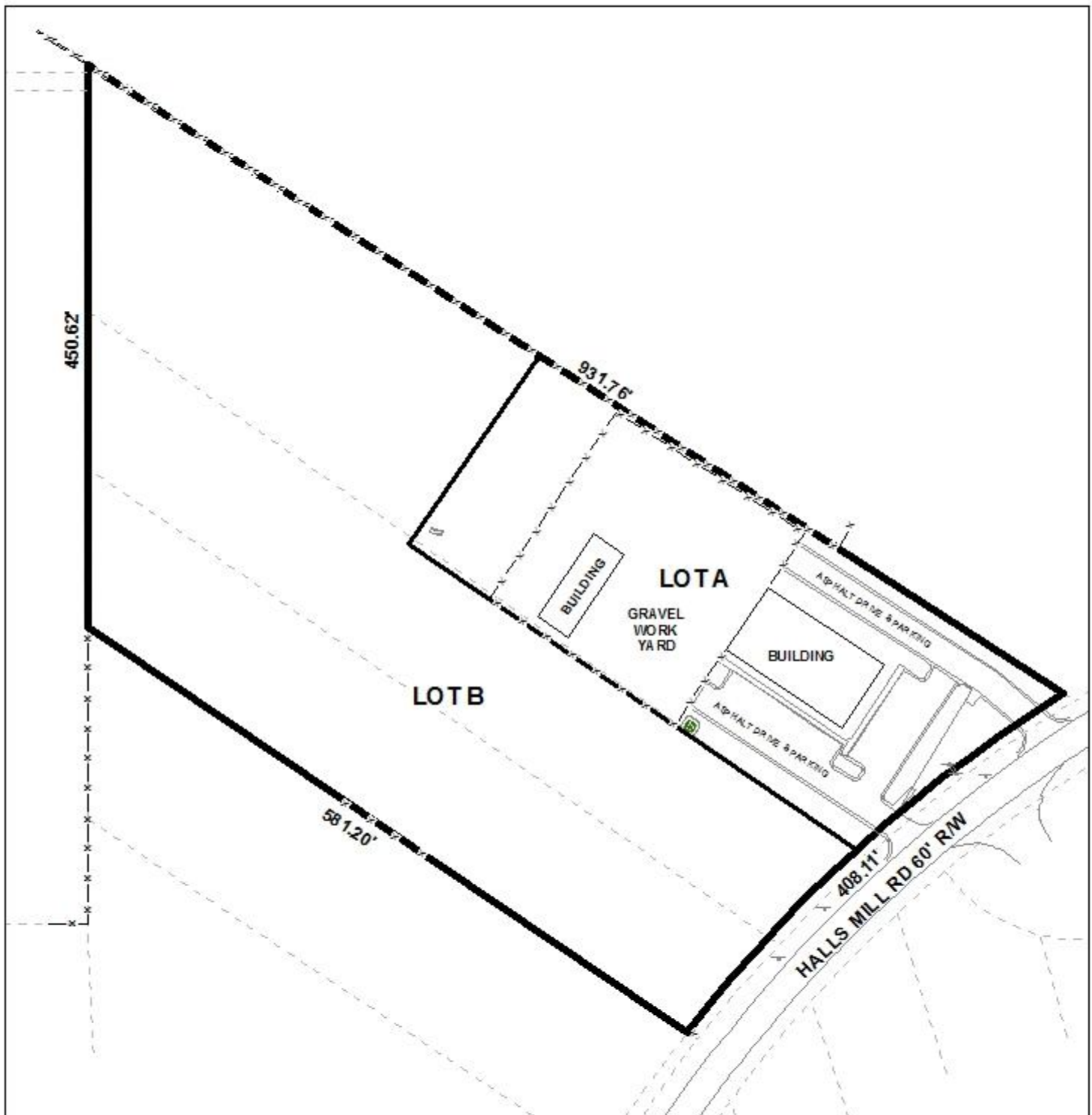
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DETAIL SITE PLAN



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