

GEORGIAN PLACE SUBDIVISION

Engineering Comments: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add street names to the vicinity map.
- C. Provide a written legal description.
- D. Provide information and label the existing lots including the lot number and subdivision recording information.
- E. Show and label the FEMA Floodway.
- F. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
- G. Provide and label the monument set or found at each subdivision corner.
- H. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- I. Provide the Surveyor's Certificate and Signature.
- J. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- K. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- L. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- M. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- N. Remove the County Engineering Department note from the Plat. The County Engineer no longer signs plats within the municipal limits of the City of Mobile.
- O. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures.
- P. After FINAL PLAT review by the Engineering Dept. provide the red-line markup, a copy of the revised original Final Plat, and the original when submitting for City Engineer signature.

Traffic Engineering Comments: Lot 1 is limited to one curb cut to Georgian Drive with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. Site may be subject to a traffic impact study dependent based upon the density and proposed use of the development.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer services has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering, Inc.

Map for Mobile Development Area(s) and Intent: Suburban Neighborhood and Suburban Corridor

Suburban Corridor Intent

- Accommodation of all users: automobiles, bicycle, pedestrian and transit
- Greater connectivity to surrounding neighborhoods
- Developments concentrated in centers rather than in strips along the corridor
- Eventual increase in density with residential above retail and services
- Increased streetscaping
- Improved traffic flow

Suburban Corridor Intent

- Emphasize connectivity to surrounding neighborhoods and close services and retail
- Accommodation of pedestrian and bicycle traffic in addition to automobiles
- Appropriate scaled infill development to complement existing character of neighborhoods

The plat illustrates the proposed 5.1± acre, 1 lot subdivision which is located at the North terminus of Georgian Drive, in Council District 5. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to combine two legal lots of record, one recorded reserved access, and two metes-and-bounds parcels into one legal lot of record.

The site consists of Lots 6, 7 and a reserved access of University Professional Park Subdivision, approved by the Commission in 1980, and two metes-and-bounds parcels to the North of that subdivision. All properties involved are undeveloped. The applicant's engineer has indicated that the purpose of the subdivision is to combine all of the properties for possible future development or to make the site marketable if the decision is made not to develop.

The site fronts onto the cul-de-sac terminus of Georgian Drive with a 100' diameter without a central median. While Section V.B.14. of the Subdivision Regulations now requires a 120' diameter for such, given that Georgian Drive was built to the standards applicable in the early

1980's, dedication of right-of-way to meet the current standard should not be required. The current 25' minimum building setback line should be retained on the Final Plat.

As the lot would have less than 200 linear feet of street frontage, a note should be placed on the Final Plat stating that the lot is limited to one curb cut to Georgian Drive, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards

The proposed lot meets the minimum size requirement of the Subdivision Regulations. The plat should be revised to label the lot with its size in both square feet and acres after any required frontage dedication or a table should be furnished on the Final Plat providing the same information.

The site contains a 50' drainage easement associated with Bolton Branch Creek as well as two other smaller drainage and utility easements. The previously-mentioned reserve access is also a 50' ingress and egress easement from Georgian Drive to the Northern portion of the site across the 50' drainage easement. Therefore, a note should be required on the Final Plat stating that no structures may be constructed or placed within any easements.

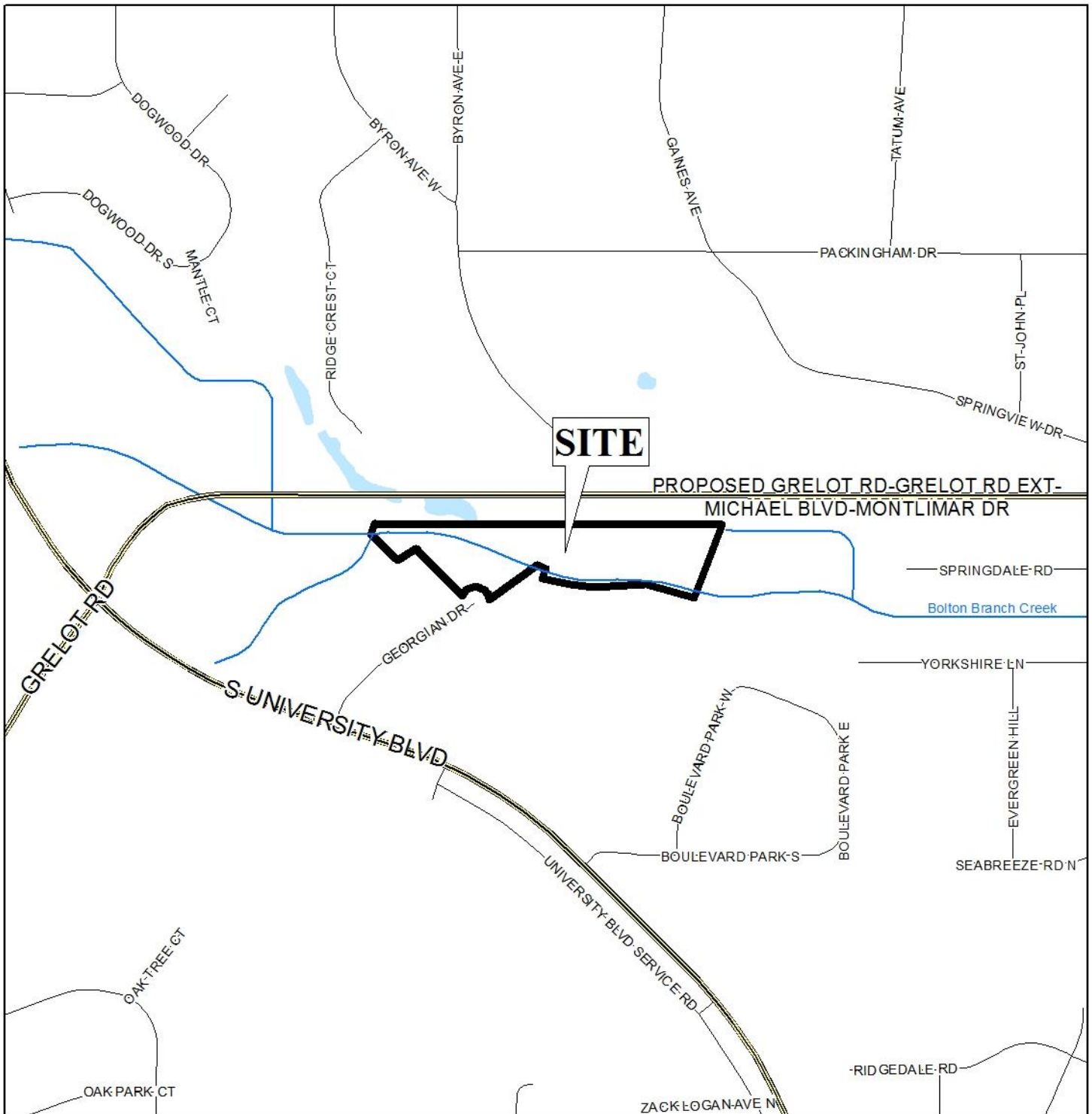
The plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:

- 1) retention of the 25' minimum building setback line on the Final Plat;
- 2) placement of a note on the Final Plat stating that the lot is limited to one curb cut to Georgian Drive, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 3) retention of the lot size label in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 4) placement of a note on the Final Plat stating that no structures may be constructed or placed within any easements;
- 5) compliance with the Engineering comments: *[FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add street names to the vicinity map. C. Provide a written legal description. D. Provide information and label the existing lots including the lot number and subdivision recording information. E. Show and label the FEMA Floodway. F. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. G. Provide and label the monument set or found at each subdivision corner. H. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. I. Provide the Surveyor's Certificate and Signature. J. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. K. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management*

and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. L. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. M. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. N. Remove the County Engineering Department note from the Plat. The County Engineer no longer signs plats within the municipal limits of the City of Mobile. O. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures. P. After FINAL PLAT review by the Engineering Dept. provide the red-line markup, a copy of the revised original Final Plat, and the original when submitting for City Engineer signature.]

- 6) *compliance with the Traffic Engineering comments: (Lot 1 is limited to one curb cut to Georgian Drive with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. Site may be subject to a traffic impact study dependent based upon the density and proposed use of the development.);*
- 7) *compliance with the Urban Forestry comments: [Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).]; and*
- 8) *compliance with the Fire Department comments: [All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).]*

LOCATOR MAP



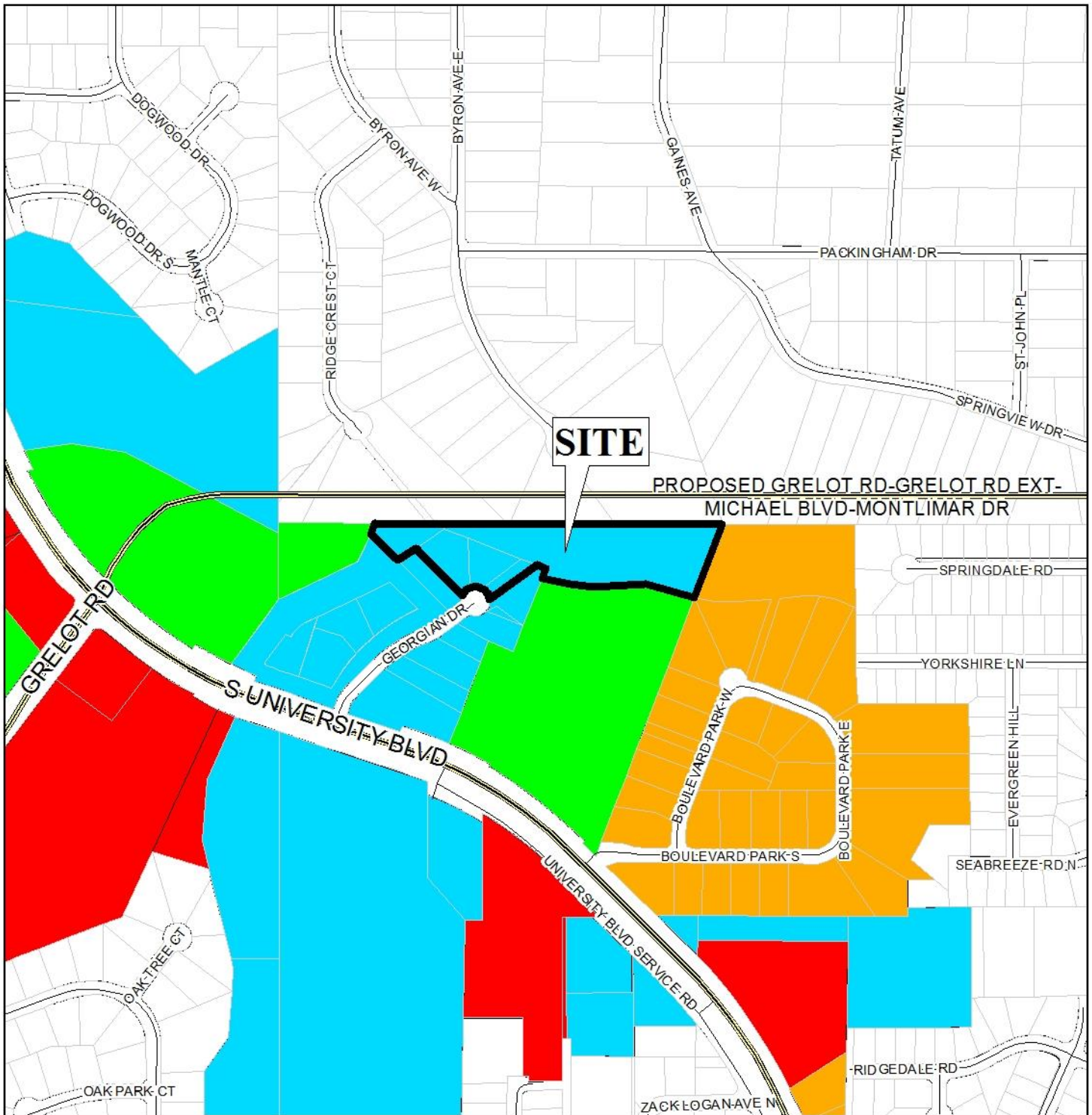
APPLICATION NUMBER 6 DATE November 3, 2016

APPLICANT Georgian Place Subdivision

REQUEST Subdivision



LOCATOR ZONING MAP



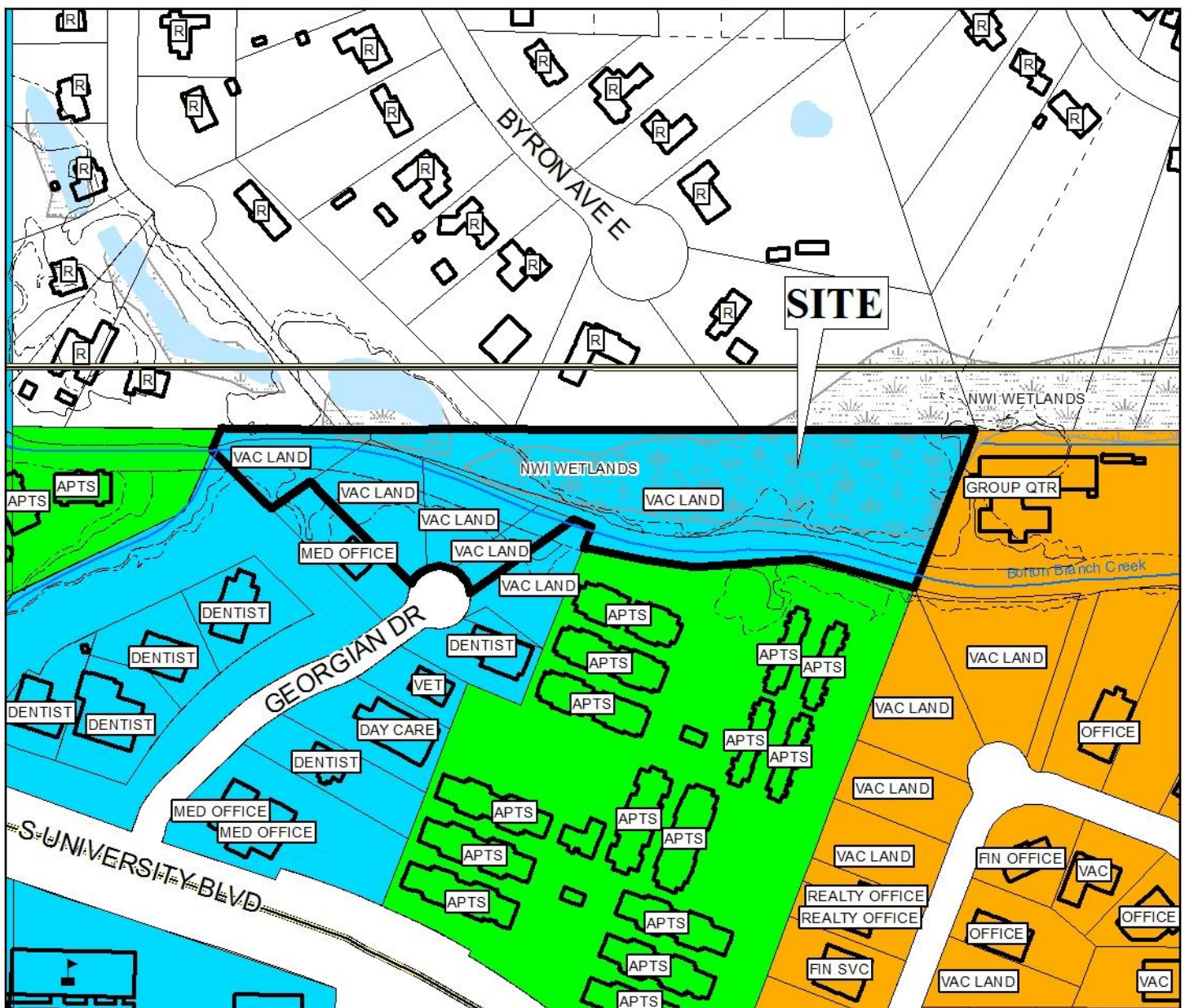
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APPLICANT Georgian Place Subdivision

REQUEST Subdivision



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units to the north and south.
Commercial units are located to the southwest and southeast.

APPLICATION NUMBER 6 DATE November 3, 2016

APPLICANT Georgian Place Subdivision

REQUEST Subdivision

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

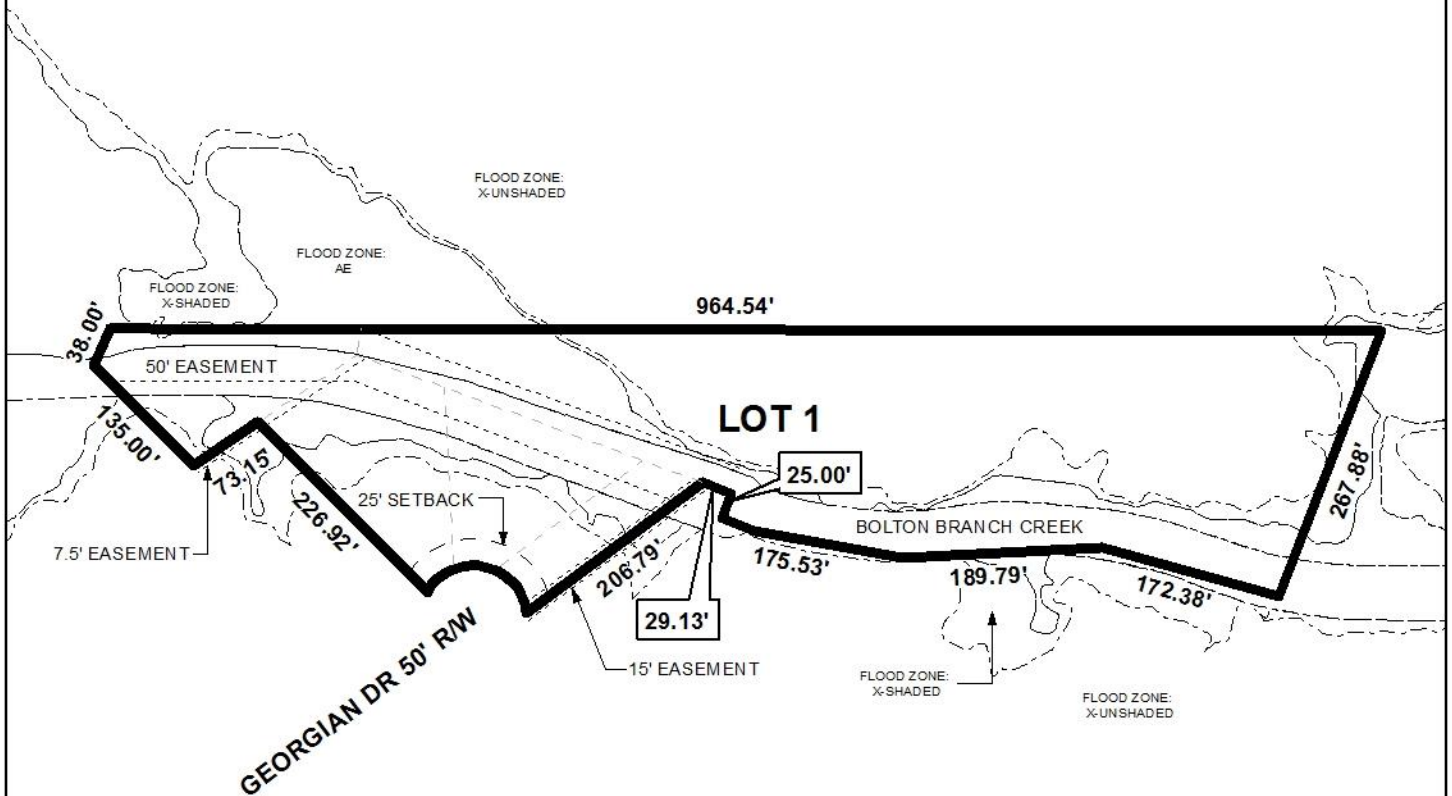


The site is surrounded by residential units to the north and south.
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 REQUEST Subdivision



DETAIL SITE PLAN



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