

## **GALTS GULCH SUBDIVISION**

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Provide the site location in the vicinity map.
- C. Review and revise the written legal description or provide a copy of the latest recorded deed as it does not seem to match the Probate records.
- D. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the Southeast corner of LOT 1.
- E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- F. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- I. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures.
- J. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering Comments: Each lot is limited to one curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWWS Comments: No comments.

The plat illustrates the proposed 2 lot, 0.3 ± acre subdivision which is located on the Northwest corner of Chatham Street and Savannah Street, and is in Council District 2. The proposed site is also located in the Oakleigh Garden Historic District. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create 2 legal lots of record from a metes-and-bonds parcel.

The site fronts Chatham Street and Savannah Street, both minor streets with curb and gutter. Both roads are illustrated as having existing compliant 50' rights-of-way, making no dedications necessary. However, dedication of the corner radii at Chatham and Savannah Street per Section V.D.6. of the Subdivision Regulations should be required if determined necessary by the City Engineer.

The proposed lots appear to meet the maximum width to depth ratio as regulated by Section V.D.3. of the Subdivision Regulations. The lot sizes in square feet and acres are depicted on the plat; however, neither of the proposed lots meet the required 7,200 square foot minimum lot size as required by Section V.D.2. of the Subdivision Regulations. Small property sizes are not uncommon within the Oakleigh Garden Historic District and, as proposed, the smallest lot will be 5,255 ± square feet. If approved, a waiver of section V.D.2 of the Subdivision Regulations will be required.

Lot 1 is developed with a residence and with one existing curb-cut to Chatham Street and Savannah Street. If approved, a note should be placed on the Final Plat stating each lot is limited to 1 curb-cut with the size, design, and exact location to be approved by Traffic Engineering, and conform to AASHTO standards. Lot 1 should be denied access to Savannah Street.

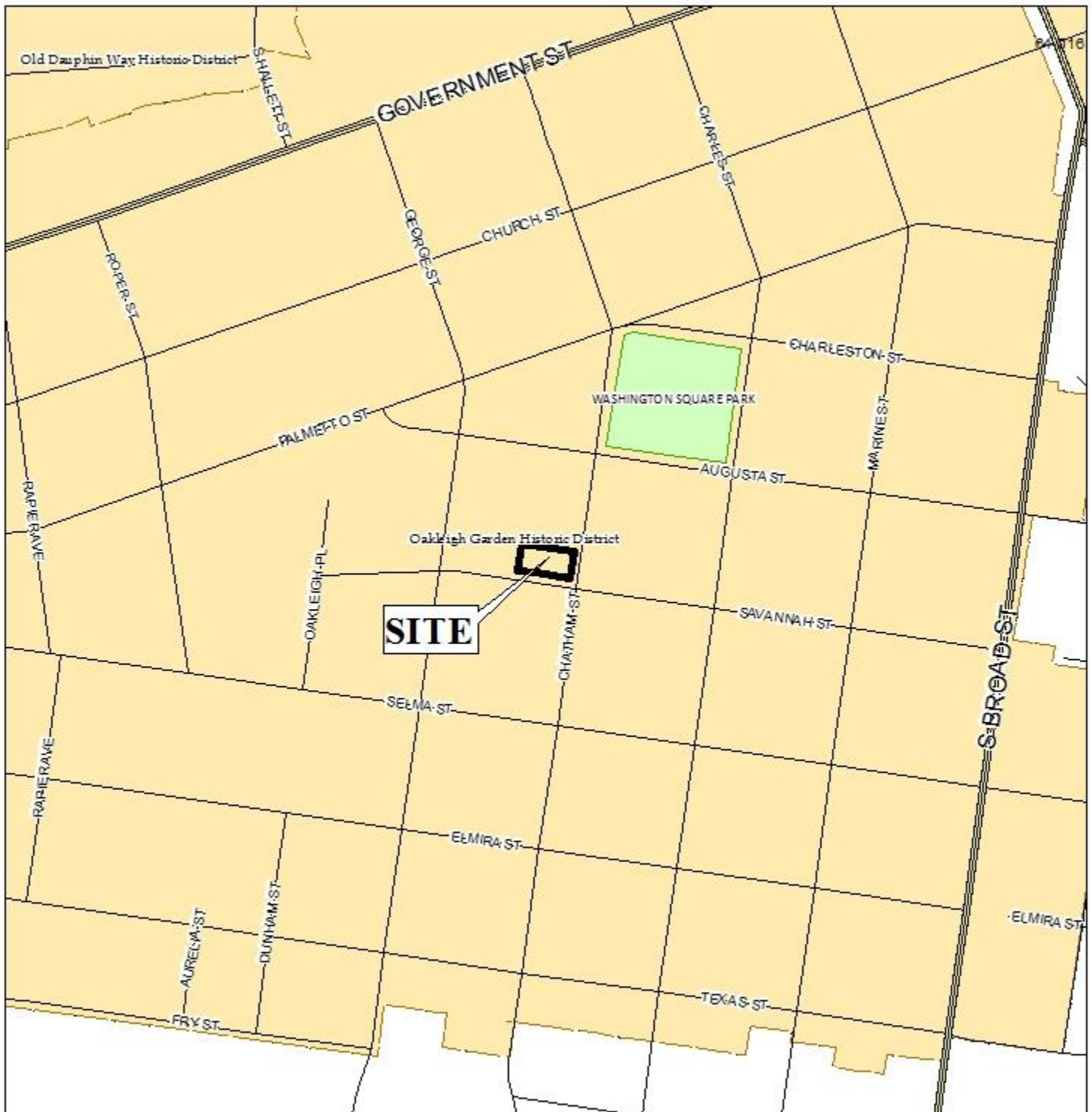
The 25-foot minimum building setback line, required in Section V.D.9., is not shown on the preliminary plat. However the proposed site is located in a Historic District, and as such, the minimum building setback lines can be determined by the application of the Historic Overlay District regulations contained within the Zoning Ordinance. Therefore a waiver of Section V.D.9 of the Subdivision Regulations is recommended, to allow for the application of the Historic District Overlay. Setbacks should comply with the Zoning Ordinance (Historic District Overlay).

Based upon the preceding, and with a waiver of Sections V.D.2, and V.D.9. of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the plat to provide dedication of the corner radii at Chatham and Savannah Street per Section V.D.6. of the Subdivision Regulations, if determined necessary by the City Engineer;
- 2) retention of the lot sizes in square feet and acres;
- 3) placement of a note on the Final Plat stating that each lot is limited to 1 curb-cut with the size, design, and exact location to be approved by Traffic Engineering, and conform to AASHTO standards;
- 4) placement of a note on the Final Plat stating Lot 1 is denied access to Savannah Street;

- 5) placement of a note on the Final Plat stating setbacks will comply with the Zoning Ordinance (Historic District Overlay);
- 6) compliance with Engineering comments: *“The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Provide the site location in the vicinity map. C. Review and revise the written legal description or provide a copy of the latest recorded deed as it does not seem to match the Probate records. D. Dedicate the corner radius (25’ minimum or as approved by the City Engineer and Traffic Engineer) at the Southeast corner of LOT 1. E. Provide the Surveyor’s, Owner’s (notarized), Planning Commission, and Traffic Engineering signatures. F. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. I. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures. J. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.”*;
- 7) compliance with Traffic Engineering comments: *“Each lot is limited to one curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards”*;
- 8) compliance with Urban Forestry comments: *“Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).; and*
- 9) compliance with Fire comments: *“All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).”*

# LOCATOR MAP



APPLICATION NUMBER 6 DATE December 3, 2015

APPLICANT Galts Gulch Subdivision

REQUEST Subdivision



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





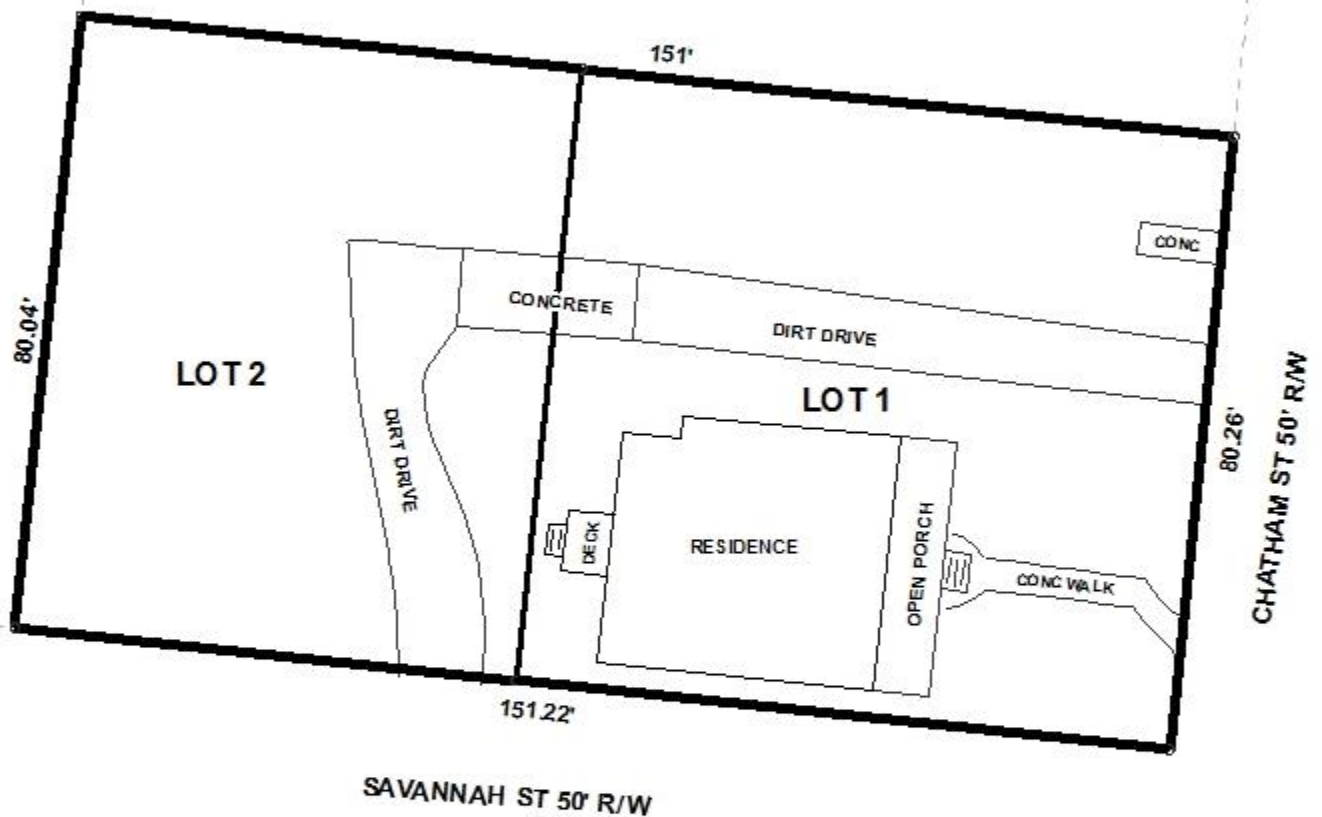
# GALTS GULCH SUBDIVISION



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## DETAIL SITE PLAN



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REQUEST Subdivision

