

**PLANNED UNIT DEVELOPMENT  
STAFF REPORT****Date: December 20, 2007**

<b><u>NAME</u></b>	West Hill Subdivision
<b><u>SUBDIVISION NAME</u></b>	West Hill Subdivision
<b><u>LOCATION</u></b>	West terminus of Hilltop Drive South
<b><u>CITY COUNCIL DISTRICT</u></b>	District 7
<b><u>AREA OF PROPERTY</u></b>	11 Lots / 3.1+ Acres
<b><u>CONTEMPLATED USE</u></b>	Single-family residential homes with reduced lot widths and sizes, reduced building setbacks, and increased site coverage (45%)
<b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b>	None stated

**REMARKS** The applicant is requesting a one year extension of a previously approved PUD. The application was originally approved in 2006 in conjunction with a Subdivision application (two previous PUD and Subdivision approvals initiated the development, but the approvals expired prior to the recording of a final plat, thus necessitating the applications in 2006). The Subdivision plat was recently signed and recorded, but no building permits for home construction have been issued. This application to extend the PUD is to preclude the expiration of the most recent approval. This is the first request for an extension.

There have been no changes in the area, nor have there been any changes to the regulations that would impact previous approvals.

**RECOMMENDATION**

**Planned Unit Development:** Based upon the preceding, this application for a one-year extension is recommended for approval.

## LOCATOR MAP



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# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single-family residential units are located to the north, west, and east of the site. Commercial sites are located to the south of the site.

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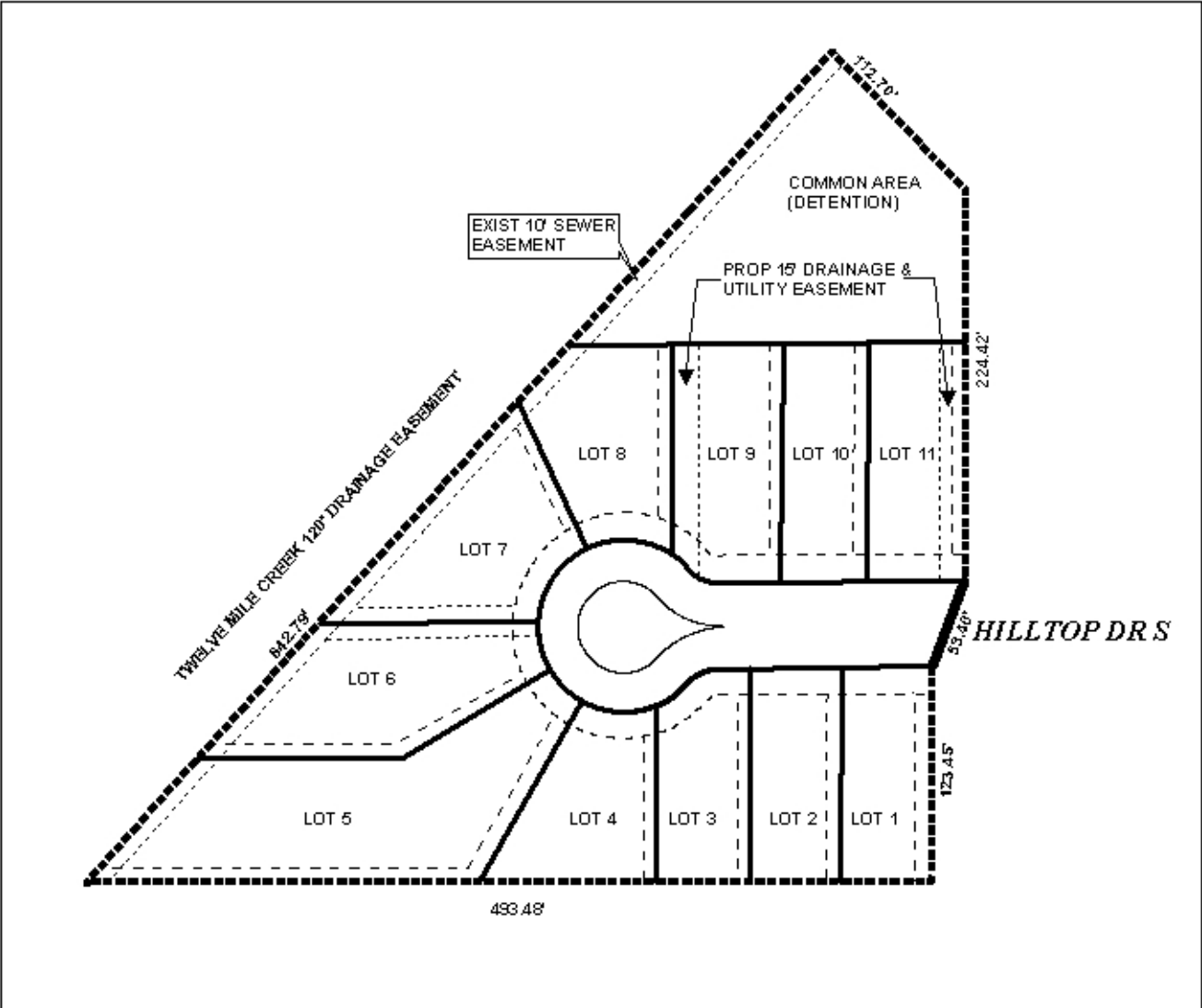
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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## SITE PLAN



The site plan illustrates the proposed lot configuration, setbacks, and easements

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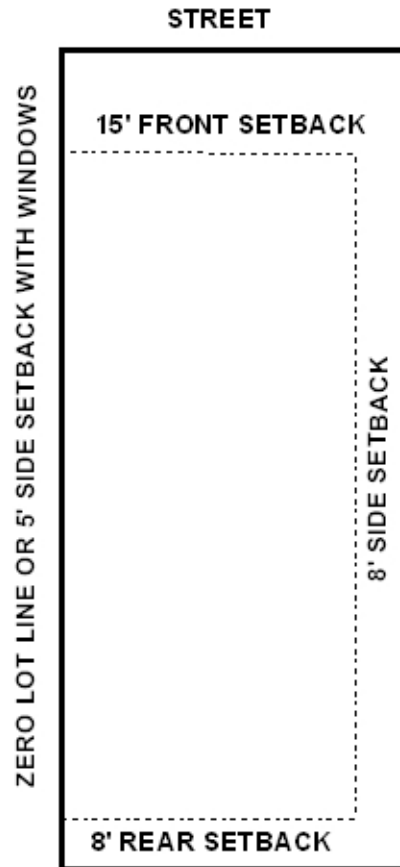
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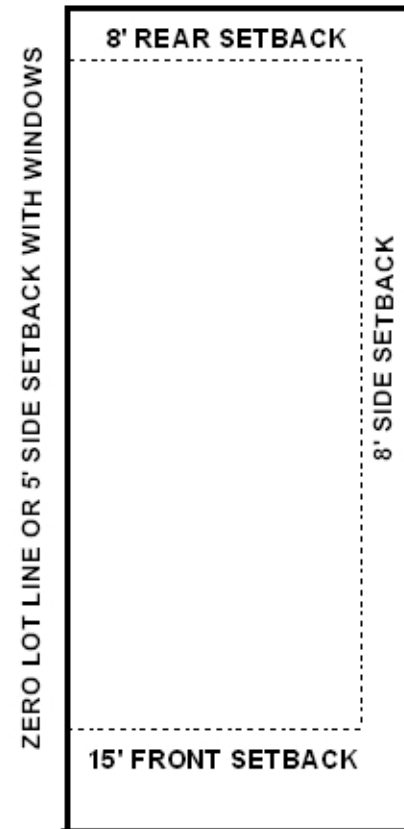


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# TYPICAL LOT LAYOUT



**LOTS 1-5**



**LOTS 8-11**

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