

## **COLVIN SUBDIVISION**

Engineering Comments: The following comments should be addressed prior to acceptance and signature by the City Engineer: 1. Add a signature block for the Planning Commission and Traffic Engineer. 2. Add the curve data for the northwest corner of the property. 3. If topographic contours are to remain they should be labeled. 4. Correct the spelling of the street names in the vicinity map. 5. Provide all other information required for a Final Plat review.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

The plat illustrates the proposed 1-lot, 0.3± acre subdivision which is located at 4825 Scarborough Circle (Southeast corner of Scarborough Circle and Scarborough Circle West), and is located within Council District 1. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create a legal lot of record from an existing metes and bounds parcel.

The proposed lot, as depicted, meets the minimum size and frontage requirements as regulated by the Subdivision Regulations. The lot area size is depicted on the plat in acres, and this should be retained with the inclusion of square feet on the Final Plat, if approved. The 25-foot minimum building setback line is depicted, however, the site is located on a substandard width street; therefore, dedication would be required.

The proposed lot fronts Scarborough Circle and Scarborough Circle West; both streets are minor streets as illustrated on the Major Street Plan Component of the Comprehensive Plan. The Plan requires a right-of-way width of 50-feet for minor streets with curb and gutter, and 60-feet of right-of-way for streets without curb and gutter. However, Scarborough Circle and Scarborough Circle West, do not provide curb and gutter; therefore, dedication to provide 30-foot right-of-way from the centerline of Scarborough Circle and Scarborough Circle West. Since the site is located at the intersection of two streets, compliance with Section V.B.16. of the Subdivision Regulations regarding curb radii is required; therefore, dedication of sufficient radius, with the size and design to be approved by Traffic Engineering, and Engineering and conform to AASHTO standards, would as be required.

Given that the Scarborough Circle West frontage would only provide approximately 45-feet in width, one curb cut to Scarborough Circle would seem to be appropriate. As such, a note should be placed on the Final Plat, if approved, denying the lot access to Scarborough Circle West and limiting the lot to one curb cut to Scarborough Circle, with the size, design, and exact location of the curb cut to be approved by Traffic Engineering and conform to AASHTO standards.

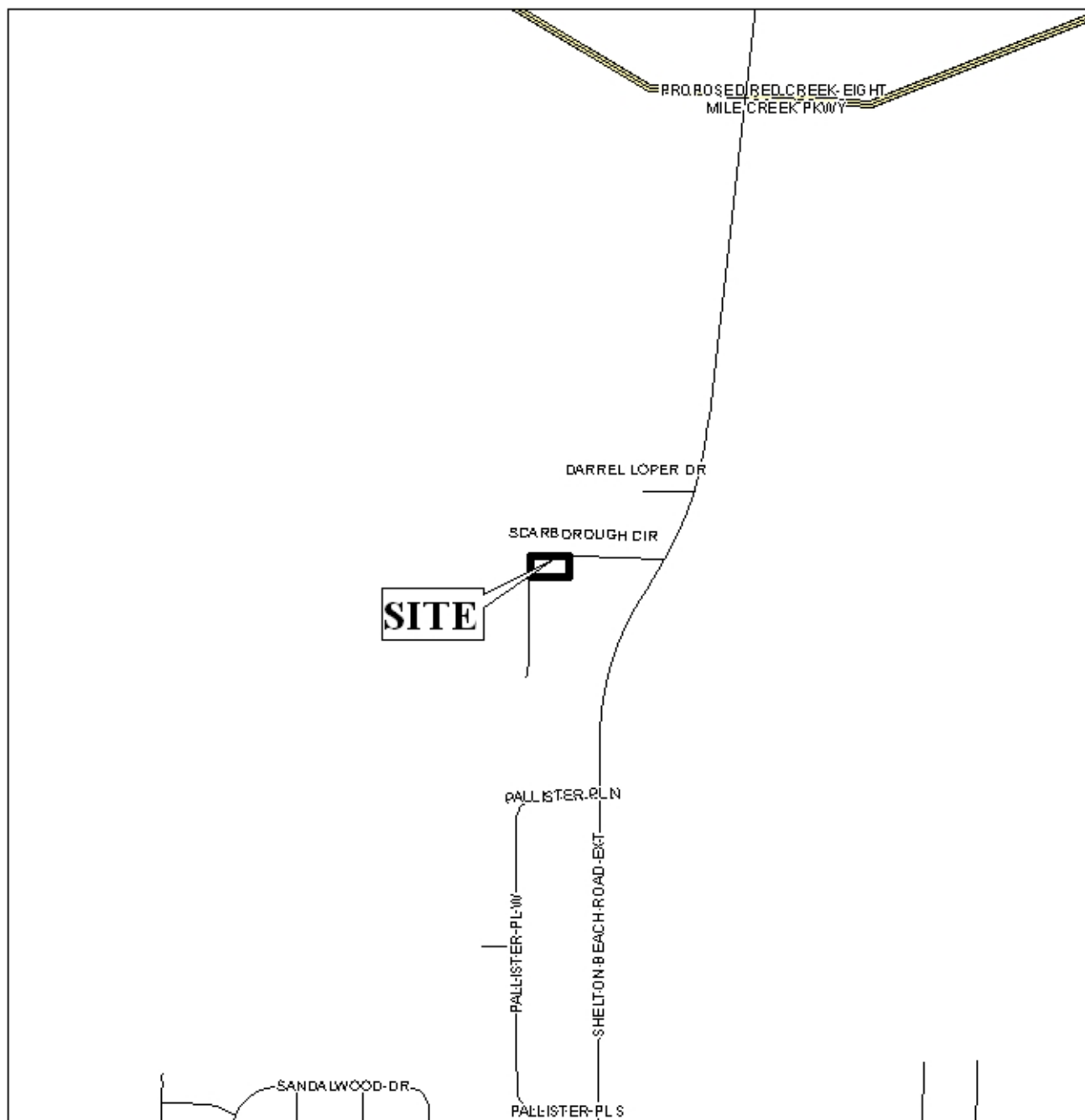
On the preliminary plat, the note stating “any lots developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V. A. 8. of the Subdivision Regulations” should be removed, since this property is zoned R-1, Single-Family Residential.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, this application is recommended for tentative approval subject to the following conditions:

- 1) labeling of the lot size, in square feet and acres, or provision of a table on the Final Plat with the same information;
- 2) dedication to provide 30-feet right-of-way from the centerline of Scarborough Circle and Scarborough Circle West;
- 3) compliance with Section V.B.16. of the Subdivision Regulations regarding the dedication of curb radii at the corner of Scarborough Circle and Scarborough Circle West, with the size and design to be approved by Traffic Engineering/Engineering and conform to AASHTO standards;
- 4) placement of a note on the Final Plat stating the lot is limited to one curb cut to Scarborough Circle with the size, design, and exact location of the curb cut to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) compliance with Engineering comments: “The following comments should be addressed prior to acceptance and signature by the City Engineer: 1. Add a signature block for the Planning Commission and Traffic Engineer. 2. Add the curve data for the northwest corner of the property. 3. If topographic contours are to remain they should be labeled. 4. Correct the spelling of the street names in the vicinity map. 5. Provide all other information required for a Final Plat review.”;
- 6) Compliance with Fire Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.’ and
- 7) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

## LOCATOR MAP



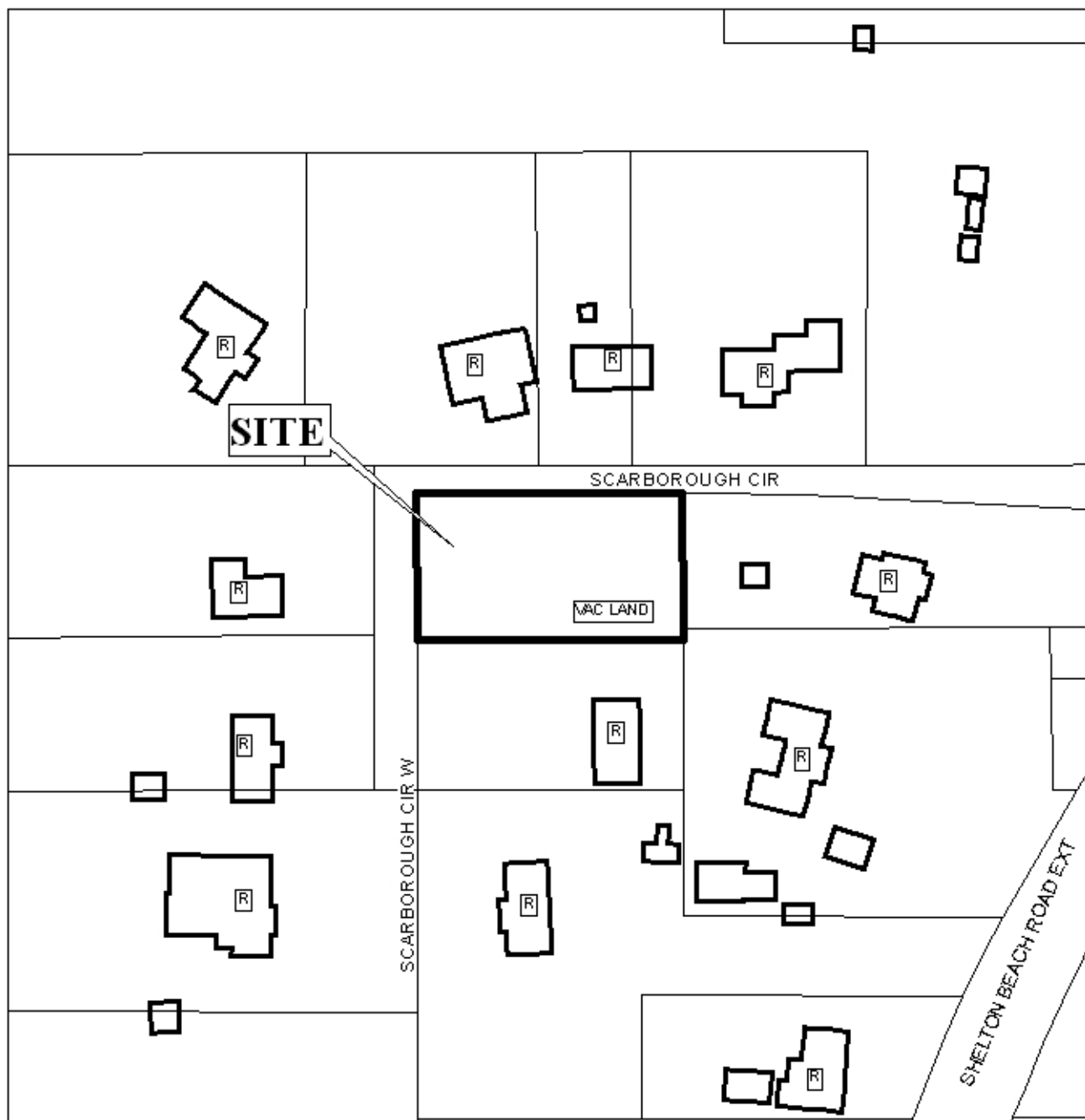
APPLICATION NUMBER 6 DATE July 5, 2012

APPLICANT Colvin Subdivision

REQUEST Subdivision



# COLVIN SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



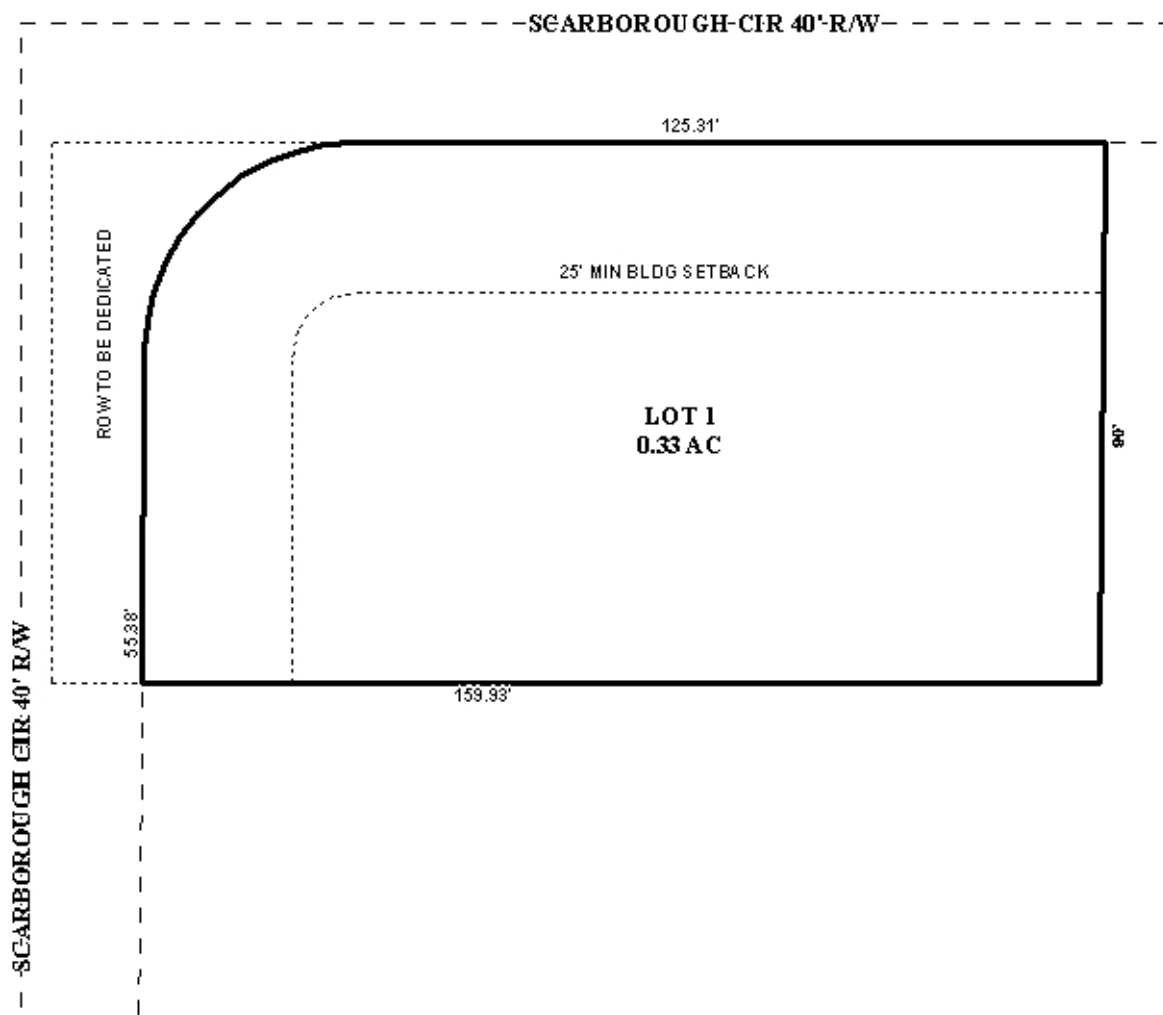
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# DETAIL SITE PLAN



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APPLICANT Colvin Subdivision

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