

## **COLLETON PLACE SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 352 lot, 109.0  $\pm$  acre subdivision which is located at the South side of Howells Ferry Road, 2,340'  $\pm$  West of Schillinger Road, extending to the East terminus of Shaw Street. The subdivision is served by public water and sewer systems.

The purpose of this application is to create a 352-lot subdivision from two lots.

The site fronts onto Howells Ferry Road and Shaw Street, both minor streets. Howells Ferry Road has an adequate right-of-way width, while Shaw Street, which lacks curb and gutters, lacks adequate right-of-way. As Shaw Street stubs into the site in question at the western edge of the proposed development, no right-of-way dedication is required.

No street connection to Shaw Street is proposed, however, the Subdivision Regulations require such a connection. The lot to the South is technically land-locked (although another property with the same owner does abut both a street and the land-locked lot), thus a street-stub should be provided to the South. Furthermore, the proposed subdivision is currently designed as having only one point of access for 352 lots, thus additional street connections would be desirable in terms of increasing accessibility for emergency vehicles.

It should be noted that a proposed major street cuts across the Southwest portion of the site. Specifically, the proposed Spring Hill Avenue – Ziegler Boulevard major street extends across the site in question, and as such a 100-foot wide right-of-way should be provided to accommodate the proposed major street. The proposed right-of-way will require redesign of the subdivision.

A number of lots appear to fall below the required 7,200 square foot minimum. The applicant has not indicated that this subdivision is intended to invoke innovative design or traditional neighborhood design consideration. The applicant should provide a statement indicating the design intent for the subdivision, if innovative under Section VIII.C. of the Subdivision Regulations, or revise the subdivision so that all lots meet minimum standards.

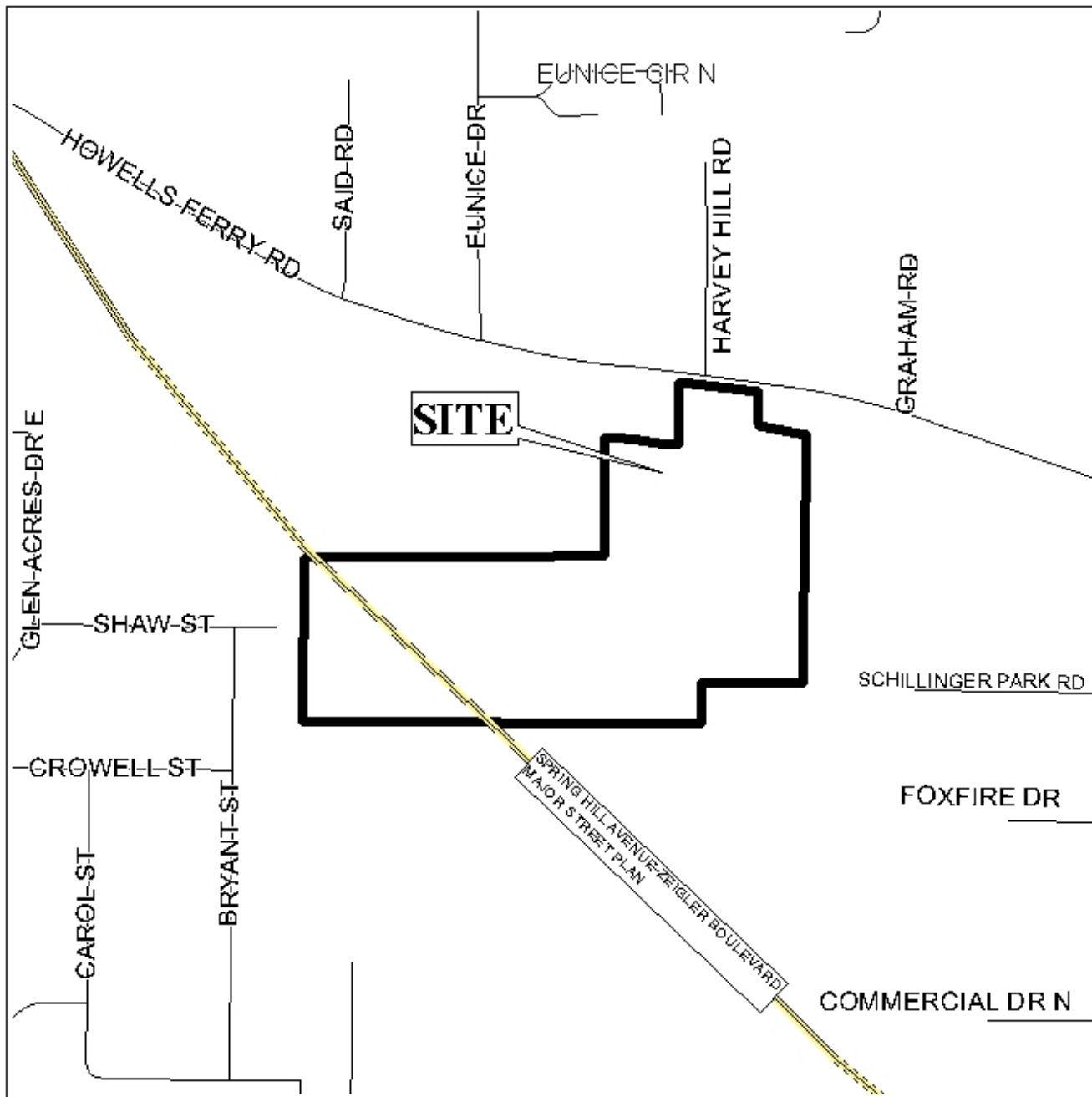
A portion of the site may contain wetlands. The potential presence of wetlands indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

The 25-foot minimum building setback line, required in Section V.D.9., is not shown for the subdivision, but would be required on the final plat, if approved.

Based upon the preceding, the application is recommended for Holdover until the October 19<sup>th</sup> meeting, with revisions due to Urban Development by October 3<sup>rd</sup>, for the following reasons: 1)

revision of the plat to accommodate the proposed Spring Hill Avenue – Ziegler Boulevard major street; 2) revision of the plat to provide a street connection to Shaw Street, to the West; 3) provision of a street-stub to the land-locked lot to the South, in compliance with Section V.B.1. of the Subdivision Regulations; 4) provision of a statement regarding the number of lots below the required 7,200 square foot minimum, or redesign of the subdivision to meet minimum lot size requirements; 5) sequential numbering of all lots; 6) verification of wetlands on the site, and provision of contour information, as required by Section IV.A.2.b. of the Subdivision Regulations; and 7) depiction of the 25-foot minimum building setback line, in conformance with Section V.D.9. of the Subdivision Regulations.

# LOCATOR MAP

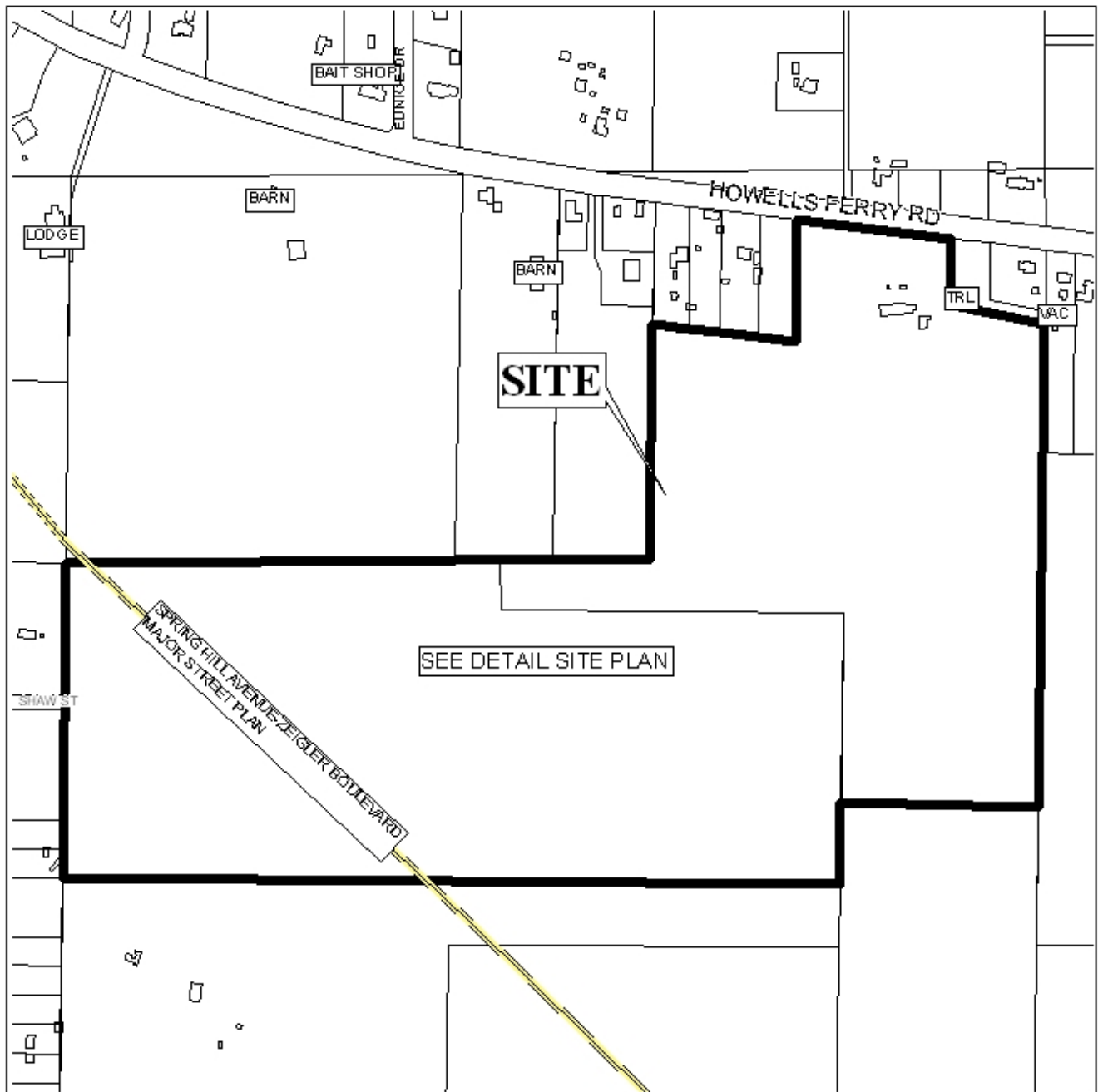


APPLICATION NUMBER 6 DATE September 21, 2006  
APPLICANT Colleton Place Subdivision  
REQUEST Subdivision



NTS

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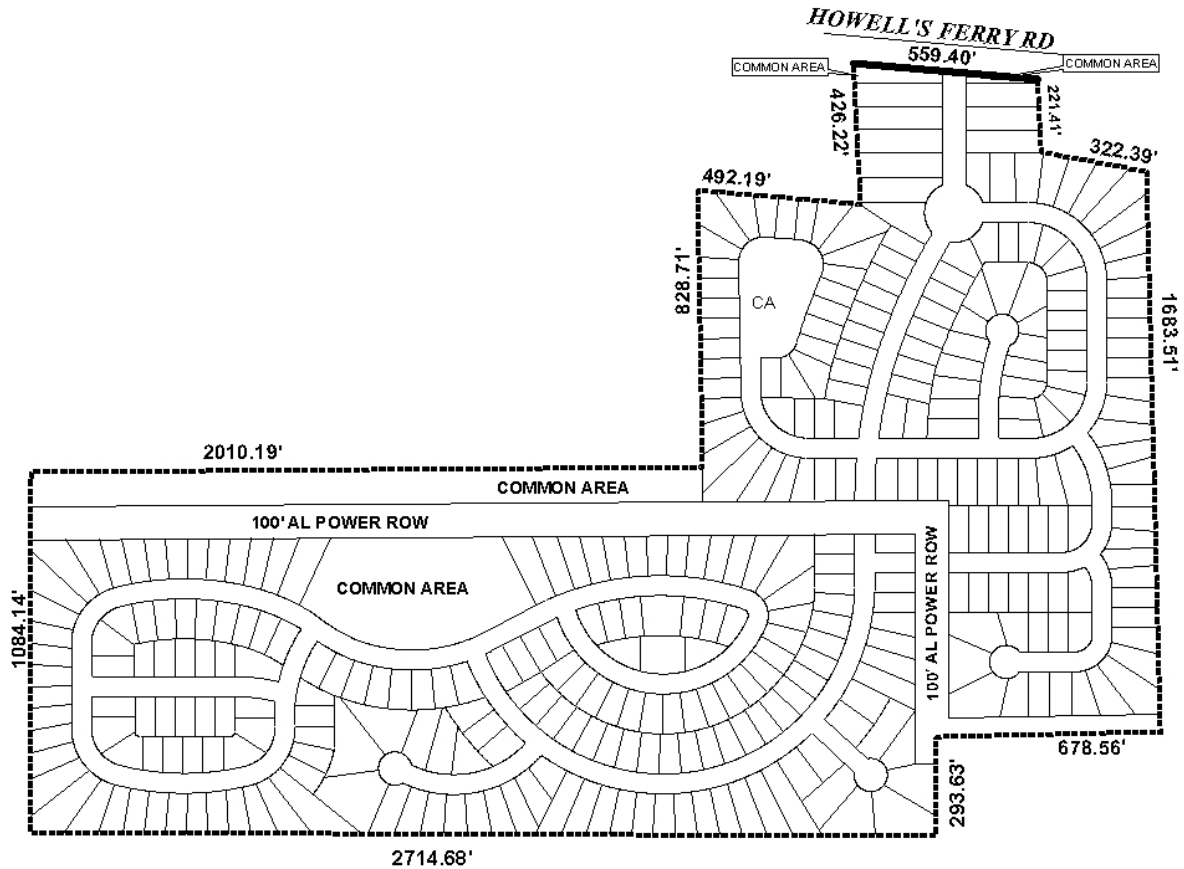
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



NTS

# DETAIL SITE PLAN



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



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