

CODY / ZEIGLER SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 3 lot, 5.0 ± acre subdivision which is located on the Southwest corner of Cody Road North and Zeigler Boulevard. The subdivision is served by both public water and sanitary sewer.

The purpose of this application is to resubdivide one undeveloped parcel into 3 lots.

Cody Road North and Zeigler Boulevard are proposed major streets. The preliminary plat indicates that Cody Road's existing right-of-way is 80 feet, however, the Major Street Plan requires that the right-of-way be 100 feet. Therefore, the dedication of right-of-way sufficient to provide 50-feet as measured from the centerline of Cody Road, and to provide a smooth transition to the right-of-way of Zeigler Boulevard, should be required. The right-of-way of Zeigler Boulevard meets minimum requirements.

Because Cody Road North and Zeigler Boulevard are proposed major streets, access management is a concern. Lot A, with frontage on both roads, should be limited to one curb-cut onto each road. Lot B, which fronts onto Zeigler Boulevard, should be limited to one curb-cut due to the frontage being less than 200 feet. Lot C, with 360 feet of frontage on Zeigler Boulevard, should be limited to two curb-cuts. The size, design and location of all curb-cuts must be approved by the Mobile County Engineering Department.

The 25-foot minimum building setback line, required in Section V.D.9., is not shown for the subdivision, but would be required on the Final Plat, if approved.

Map data from the National Wetlands Inventory indicates that isolated wetlands may occur on or near the site. The presence of wetlands indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

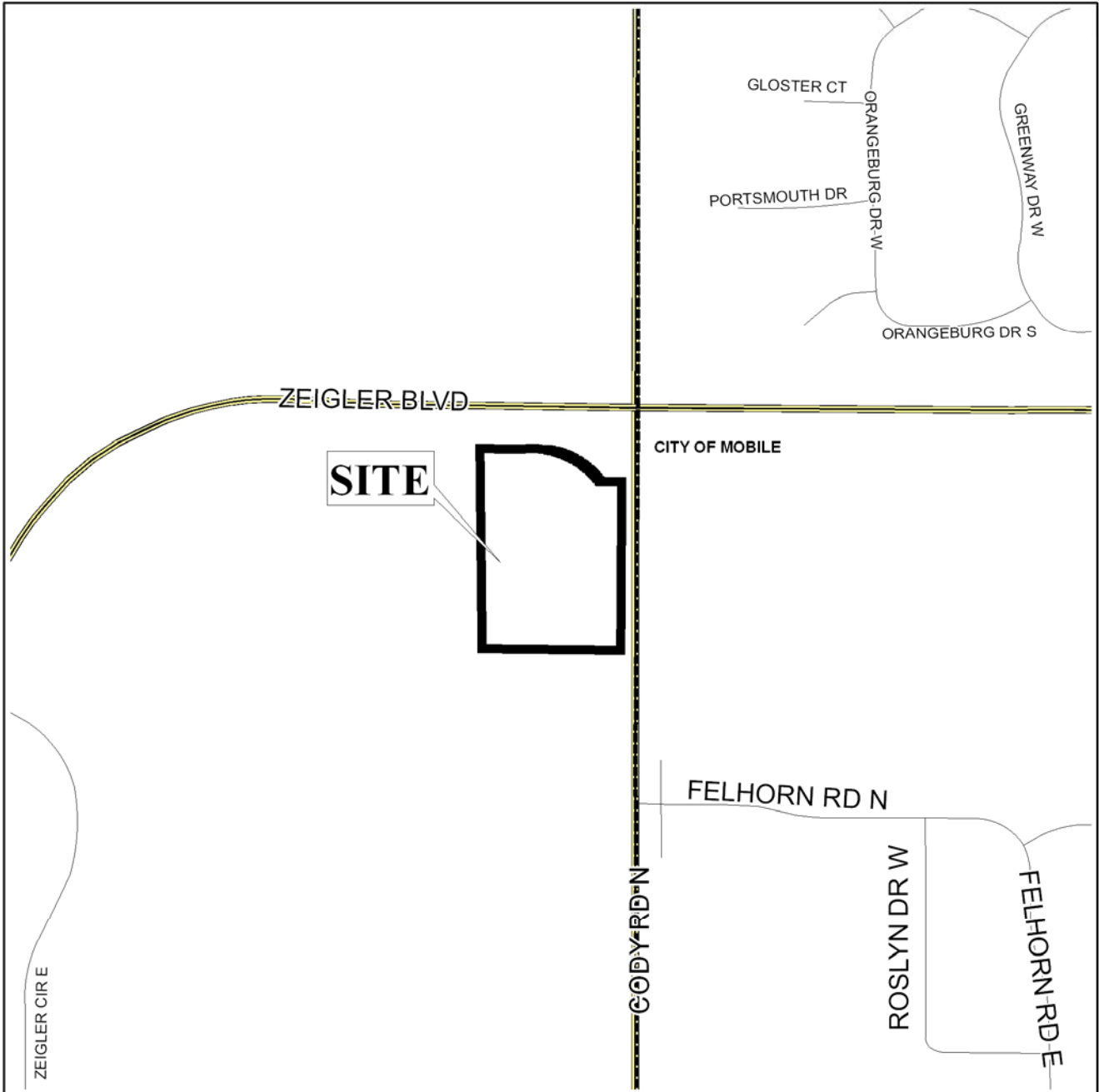
This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

Finally, the road names on the vicinity map should be checked for spelling.

The plat is recommended for Tentative Approval, subject to the following conditions: 1) the dedication of right-of-way sufficient to provide 50-feet as measured from the centerline of Cody Road, and a smooth transition to the Zeigler Boulevard right-of-way; 2) placement of a note on the Final Plat stating that Lot A is limited to one curb-cut onto Cody Road North and one curb-cut onto Zeigler Boulevard, Lot B is limited to one curb-cut onto Zeigler Boulevard, and Lot C is limited to two curb-cuts onto Cody Road North, with the size, design and location of all curb-

cuts to be approved by the Mobile County Engineering Department; 3) depiction of the 25-foot minimum building setback line; 4) the approval of all applicable federal, state and local agencies, if necessary for wetlands, prior to the issuance of any permits or land disturbance activities; 5) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations; and 6) correction of any road name misspellings on the Vicinity Map.

LOCATOR MAP



APPLICATION NUMBER 6 DATE April 20, 2006
APPLICANT Cody/ Zeigler Subdivision
REQUEST Subdivision



CODY/ ZEIGLER SUBDIVISION



APPLICATION NUMBER 6 DATE April 20, 2006

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



NTS