

AHEPA X SUBDIVISION

Engineering Comments: Development of property must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 1 lot, 4.0± acre subdivision which is located on the East side of McCrary Road, 915'± North of Moffett Road. The subdivision is served by public water and sanitary sewer facilities.

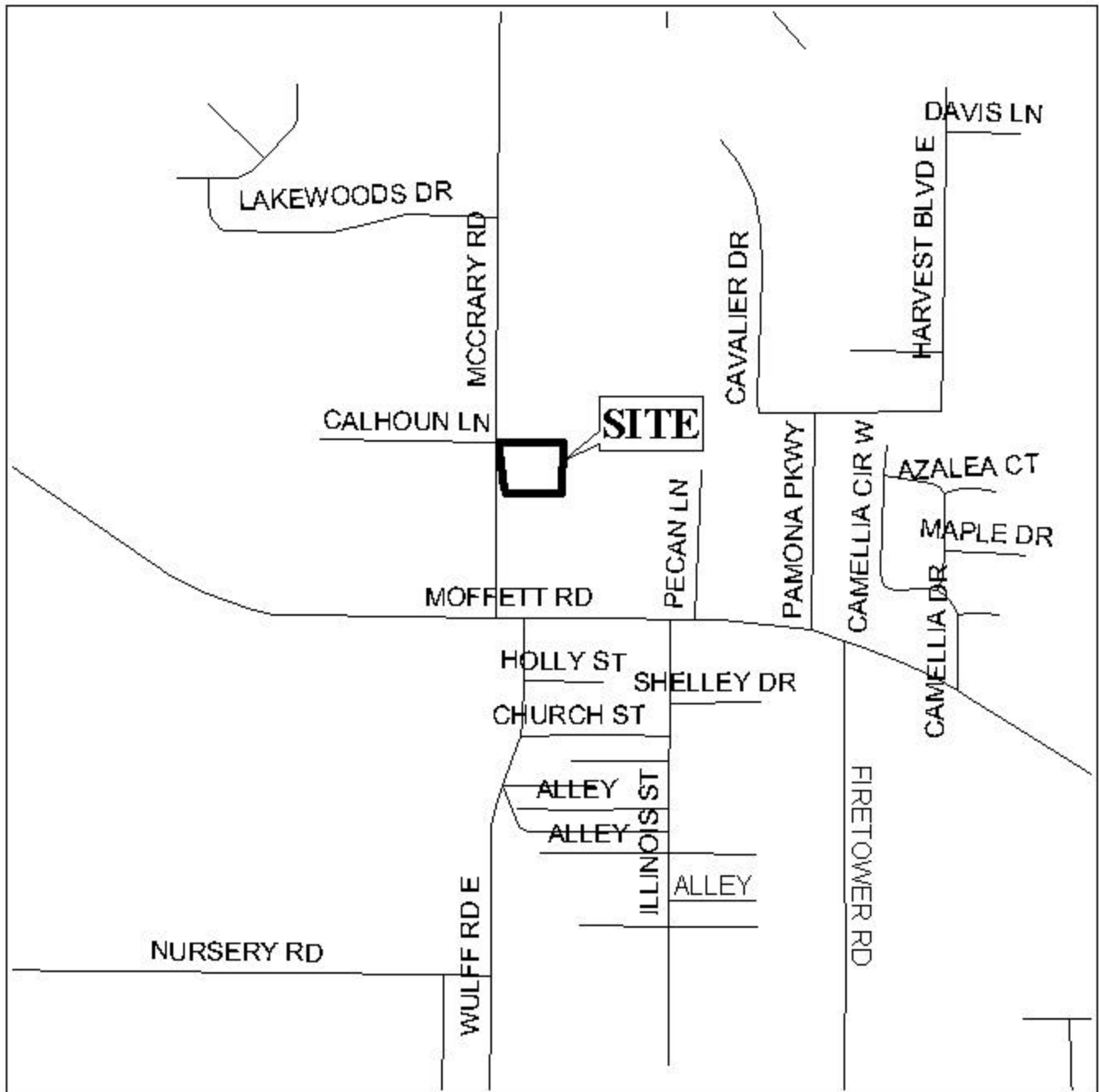
The purpose of this application is to create a one-lot subdivision and an approximate 2-acre tract labeled “future development”, from an existing legal lot of record. It should be noted that in the future, when this 2-acre parcel is subdivided, it must be brought to the Planning Commission for approval.

The site fronts McCrary Road, a planned major street, and the existing right-of-way varies from 60-feet to 120-feet. The Major Street Plan requires a 100-foot right-of-way; therefore, the dedication of adequate right-of-way to provide 50-feet from the centerline of McCrary Road should be required. Additionally, since the site will have approximately 260-feet of road frontage on a major street, access management is a concern; therefore, a note should be placed on the final plat stating that Lot 1 is limited to one curb cut to McCrary Road, with the size, location and design to be approved by County Engineering.

Since the site is located in the County, a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property, shall provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

With modifications, the final plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the dedication of the necessary right-of-way to provide 50-feet from the centerline of McCrary Road; 2) the placement of a note on the final plat stating that Lot 1 is limited to one curb cut to McCrary Road, with the location and design to be approved by County Engineering; and 3) the placement of a note on the final plat stating that a buffer, in compliance with Section V.A.7., will be provided where the site adjoins residentially developed property.

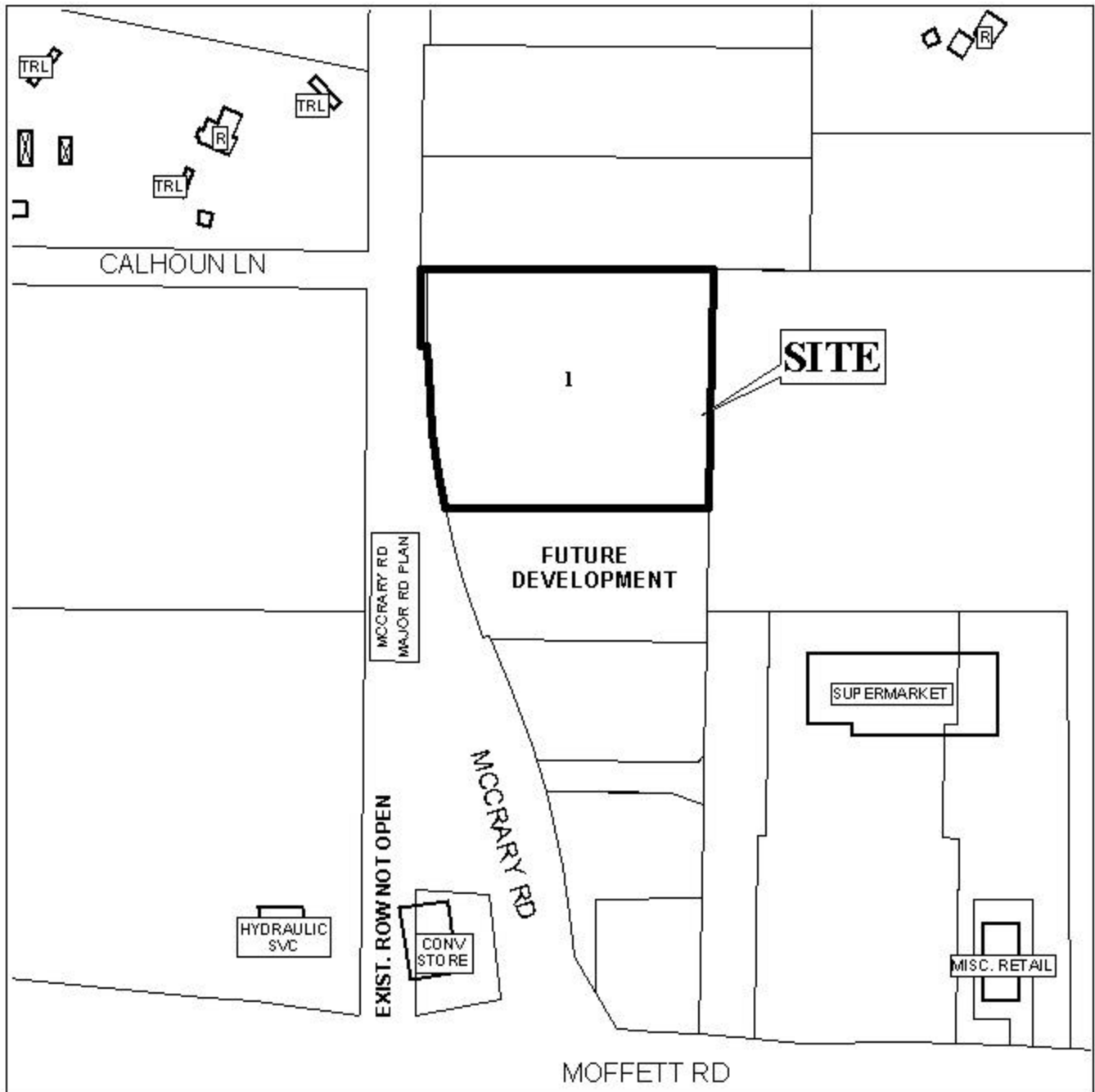
LOCATOR MAP



APPLICATION NUMBER 6 DATE April 3, 2003
APPLICANT Ahepa X Subdivision
REQUEST Subdivision



AHEPA X SUBDIVISION



APPLICATION NUMBER 6 DATE April 3, 2003

LEGEND

