

A. MOORE ESTATES SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC.)

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 2-lot, 1.1± acres subdivision located at the Southeast corner of Naman Loop and Juanita Street, within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and individual septic systems. The purpose of this application is to create two legal lots of record from one metes-and-bounds parcel.

Proposed Lot 1 has frontage on Juanita Street, an unpaved minor street without curb and gutter requiring a 60' right-of-way width. Proposed Lot 2 also has frontage on Juanita Street, as well as on Naman Road, another unpaved minor street without curb and gutter requiring a similar 60' right-of-way width. The preliminary plat illustrates a 50' right-of-way along Juanita Street and a 40' right-of-way along Naman Loop; therefore, the plat should be revised to illustrate dedication sufficient to provide 30' from the centerlines of both Juanita Street and Naman Loop, if approved.

Per Section V.D.6. of the Subdivision Regulations, dedication of the corner radius at Juanita Street and Naman Loop should be required on the Final Plat, if approved.

It should be noted that Naman Loop is incorrectly labeled as "Naman Road" on the preliminary plat; therefore, the plat should be revised to correctly label Naman Loop, if approved.

As a means of access management, a note should be required on the Final Plat stating that Lot 1 is limited to two curb cuts to Juanita Street, and Lot 2 is limited to one curb cut to each street on which it has frontage, if approved; with their sizes, locations and designs to be approved by Mobile County Engineering and conform to AASHTO standards.

The preliminary plat illustrates the 25' minimum building setback line along all street frontages, as required by Section V.D.9. of the Subdivision Regulations. If approved, this information should be retained on the Final Plat, adjusted for any required dedication.

Each lot meets the minimum size requirements of the Subdivision Regulations for lots served by public water and individual septic tanks, and are appropriately labeled in square feet and acres on the preliminary plat. If approved, this information should be retained on the Final Plat, adjusted for any right-of-way dedication; or, a table providing the same information may suffice.

It should be noted that even after right-of-way dedication, each lot will meet the 15,000 square foot lot size minimum.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the Final Plat, if approved.

The site will have to comply with the City of Mobile storm water and flood control ordinances. A note stating *“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”* should be placed on the Final Plat, if approved.

Finally, since both streets are substandard in terms of roadway width and surfacing, a note should be placed on the Final Plat stating that there shall be no future subdivision of the site until each road is improved in width and paved in asphalt to Mobile County Engineering standards.

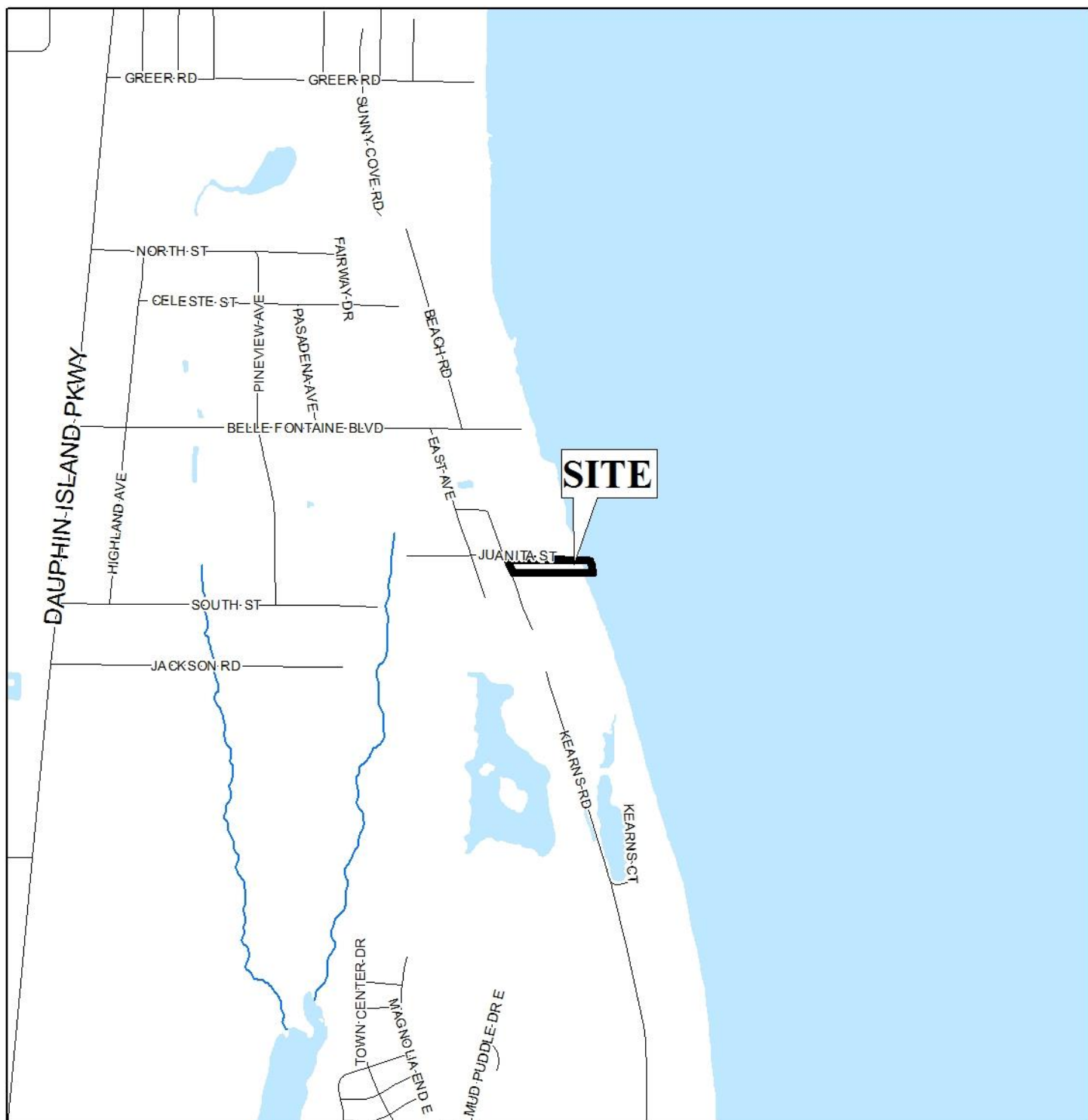
The proposed plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions:

- 1) revision of the plat to illustrate dedication sufficient to provide 30' from the centerline of Juanita Street;
- 2) revision of the plat to illustrate dedication sufficient to provide 30' from the centerline of Naman Loop;
- 3) dedication of the corner radius at Juanita Street and Naman Loop, per Section V.D.6. of the Subdivision Regulations;
- 4) revision of the plat to correctly identify Naman Loop;
- 5) placement of a note on the Final Plat stating Lot 1 is limited to two curb cuts to Juanita Street, and Lot 2 is limited to one curb to each street on which it has frontage, with any changes in their sizes, locations or designs to be approved by Mobile County Engineering and conform to AASHTO standards;
- 6) retention of the 25' minimum building setback line along all street frontages, adjusted for dedication;
- 7) retention of the lot sizes for each lot in square feet and acres on the Final Plat, or provision of a table providing the same information, adjusted for dedication;
- 8) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 9) placement of a note on the Final Plat stating that there shall be no future subdivision of the site until Naman Loop and Juanita Street are improved in width and paved in asphalt to Mobile County Engineering standards;
- 10) placement of a note on the Final Plat to comply with the Mobile County storm water and flood control ordinances: *“Must comply with the Mobile County Flood Damage*

Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”; and

- 11) compliance with Fire Department comments: *“Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC.)”*

LOCATOR MAP



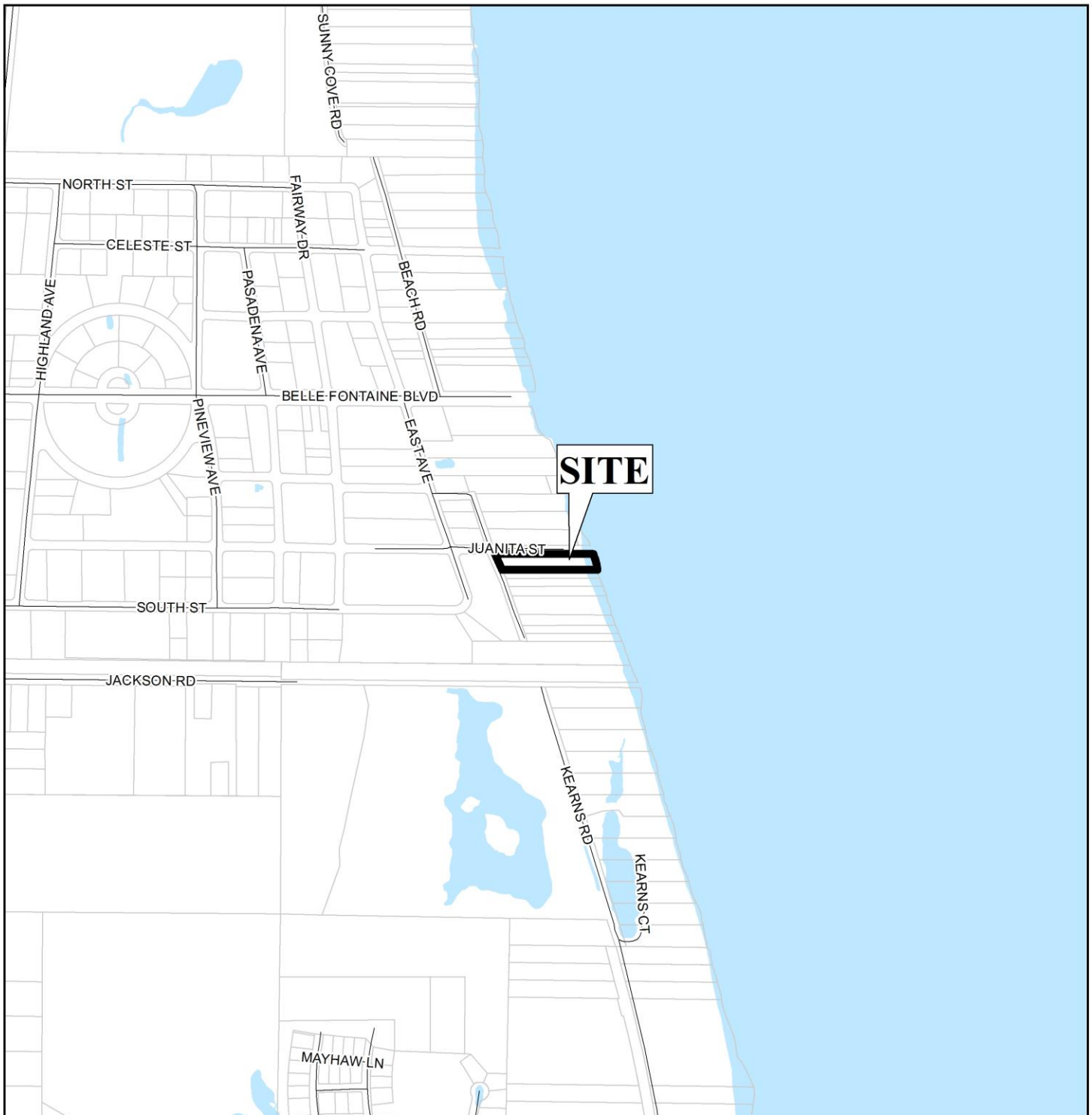
APPLICATION NUMBER 6 DATE May 18, 2017

APPLICANT A. Moore Estates Subdivision

REQUEST Subdivision



LOCATOR ZONING MAP



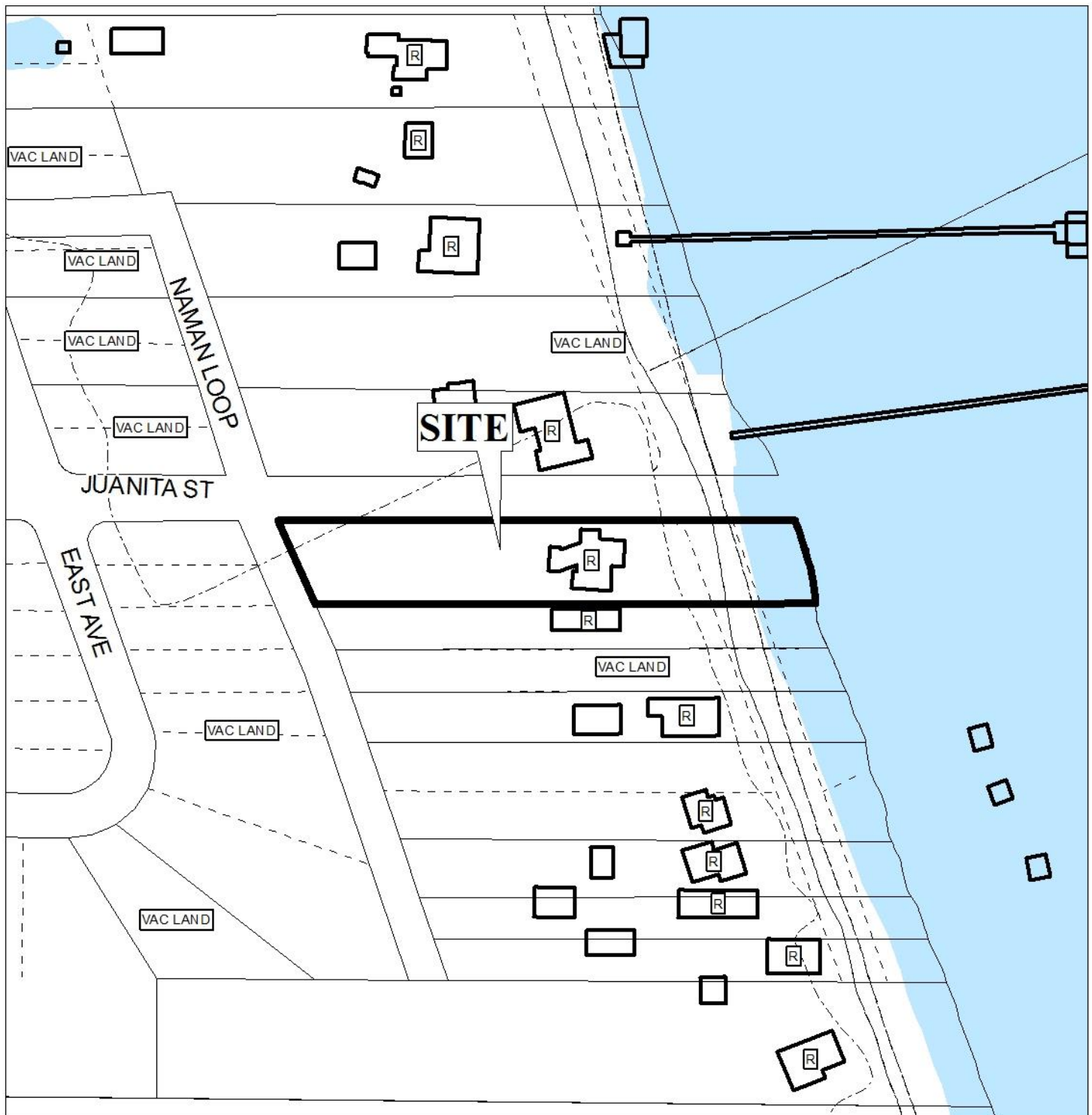
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REQUEST Subdivision



A MOORE ESTATES SUBDIVISION



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



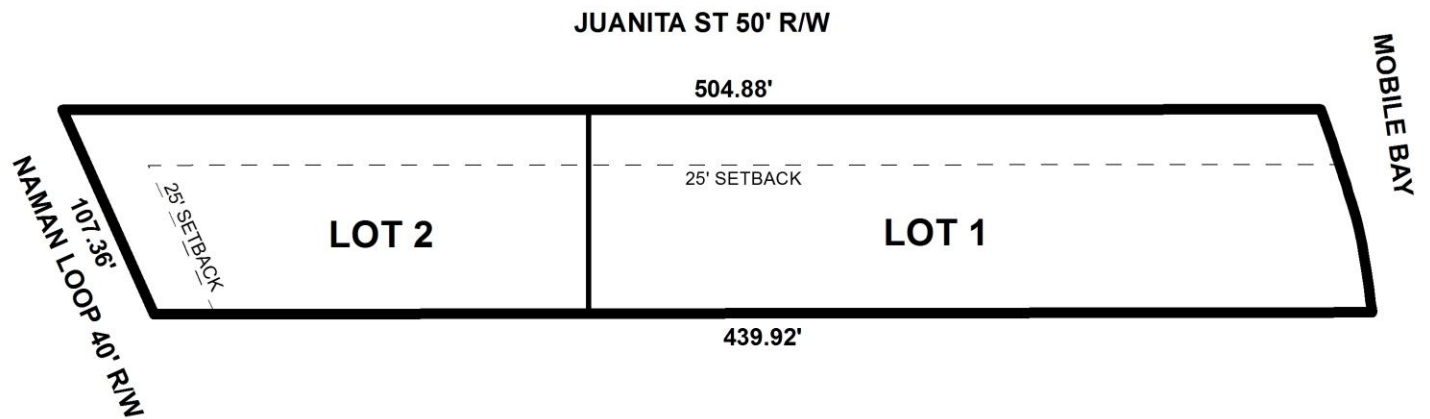
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DETAIL SITE PLAN



APPLICATION NUMBER 6 DATE May 18, 2017

APPLICANT A. Moore Estates Subdivision

REQUEST Subdivision



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