

**SUBDIVISION &
SIDEWALK WAIVER STAFF REPORT****Date: December 16, 2010****NAME**

Mid-Bay Ventures, LLC

SUBDIVISION NAME

Steiner Properties Subdivision, Resubdivision of Lots 2, 3 & 4

LOCATION

Northwest corner of Larue Steiner Road and U. S. Highway 90 West

**CITY COUNCIL
DISTRICT**

District 4

AREA OF PROPERTY

1 Lot / 3.5 ± acres

PRESENT ZONING

B-3, Community Business District

**ENGINEERING
COMMENTS**

In order to comply with Land Disturbance Permit requirements, need to reference a City of Mobile benchmark to establish contour elevations. Driveway radii shall not extend beyond the projected property line at the edge of pavement, without written authorization from adjacent property owner to do so. The existing receiving drainage system is undersized, therefore detention must be provided for the 100 year storm event with a 2 year storm release, at a minimum. Must comply with all other storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit in addition to any required land disturbance permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

Due to the open drainage ditches along Highway 90 along Larue Steiner, acceptance of sidewalk waiver is recommended.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT
COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWSS COMMENTS

MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

REMARKS

The applicant is seeking Subdivision approval to create 1 lot, and is requesting a sidewalk waiver along Larue Steiner Road and U.S. Highway 90 West. The site is located in Council District 4, and according to the applicant is served by public water and sanitary sewer.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site has frontage onto U. S. Highway 90 West, a proposed major street, and Larue Steiner Road, a minor street. The preliminary plat depicts an existing 160-foot wide right-of-way for U. S. Highway 90, however, the Major Street Plan component of the Comprehensive Plan requires a minimum right-of-way width of 250 feet at this location: adequate right-of-way should be dedicated to provide 125 feet, as measured from the centerline, including the provision of a corner radius at Larue Steiner Road. The existing right-of-way for Larue Steiner Road is 80 feet, which is adequate for a minor street.

The plat shows the 25-foot minimum building setback line from both roads, and includes an additional 35-foot setback from U. S. Highway 90 West, as required by the Planning Commission in its approval at its March 16, 2000 meeting for the previous subdivision creating the current lots.

The plat has a note indicating the proposed lot size in acres, however, it should also be shown in square feet, and should also reflect any required dedication.

A site plan was submitted with the application in order to depict requested curb-cuts. One right-in, right-out curb-cut is depicted on U. S. Highway 90 West, and two curb-cuts are depicted onto Larue Steiner Road. U. S. Highway 90 West is an ALDOT regulated facility with a median at this location, thus any curb-cuts onto the road will require their approval in addition to Traffic Engineering approval. The proposed lot should be limited to one curb-cut onto U. S. Highway 90 West, and two curb-cuts onto Larue Steiner Road, with the size, location and design to be approved by Traffic Engineering and ALDOT, and to conform with AASHTO standards.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Regarding the sidewalk waiver request, the applicant states that there are no sidewalks in the vicinity, and that the site fronts open ditches along both road frontages.

Aerial photos from 2010 indicate that there are, in fact, no sidewalks in the vicinity of the site. While the proposed use may not generate pedestrian traffic, the location next to a proposed major street and a street that appears to support truck traffic would justify the provision of a sidewalk if feasible.

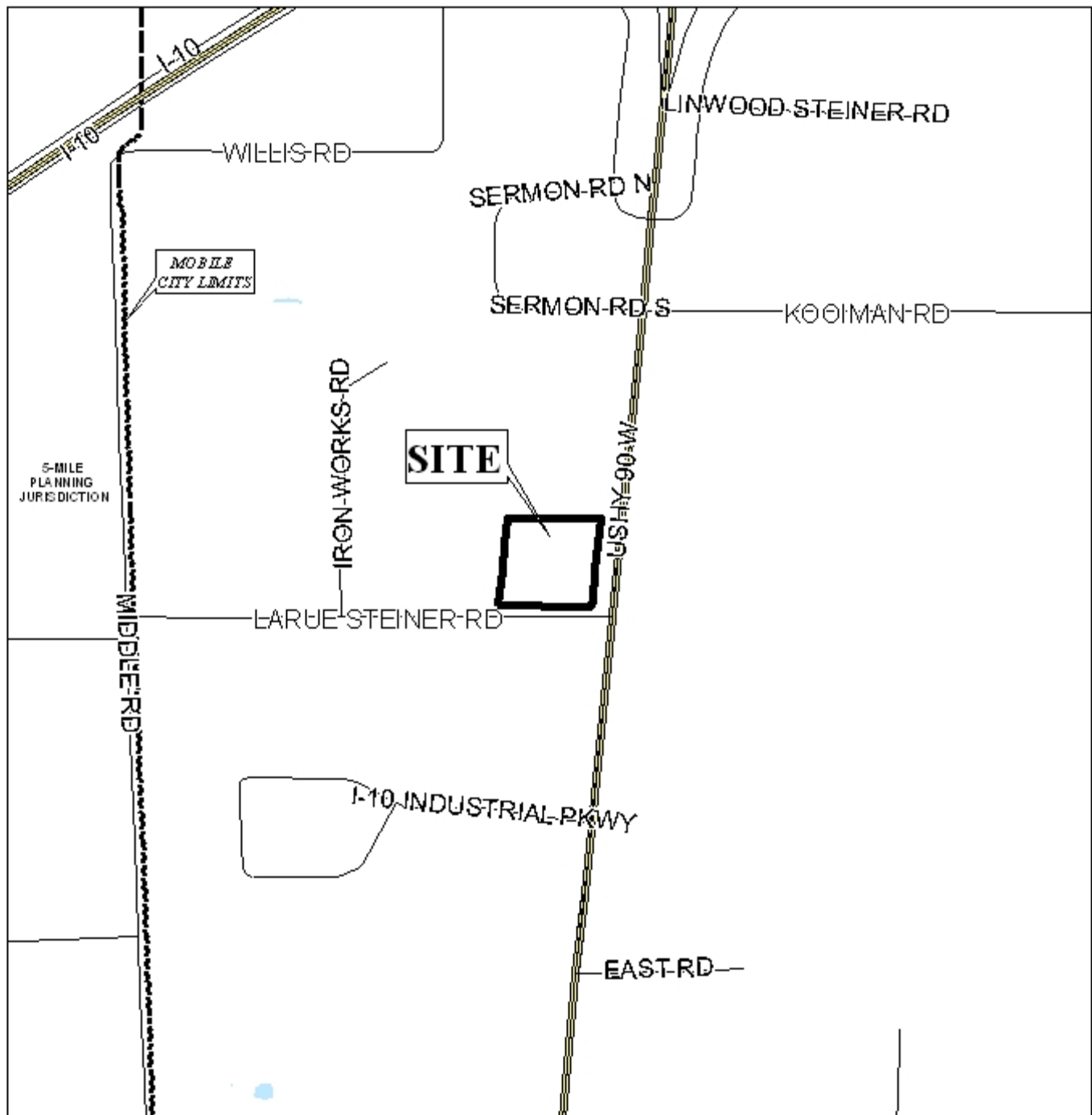
RECOMMENDATION

Subdivision: Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Compliance with Engineering comments (*In order to comply with Land Disturbance Permit requirements, need to reference a City of Mobile benchmark to establish contour elevations. Driveway radii shall not extend beyond the projected property line at the edge of pavement, without written authorization from adjacent property owner to do so. The existing receiving drainage system is undersized, therefore detention must be provided for the 100 year storm event with a 2 year storm release, at a minimum. Must comply with all other storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit in addition to any required land disturbance permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.*);
- 2) Dedication of right-of-way along U. S. Highway 90 West sufficient to provide 125 feet as measured from the centerline, including the provision of a corner radius at Larue Steiner Road;
- 3) Placement of a note on the final plat stating that the lot is limited to one curb-cut onto U. S. Highway 90 West, and two curb-cuts onto Larue Steiner Road, with the size, location and design to be approved by Traffic Engineering and ALDOT, and to conform with AASHTO standards;
- 4) Depiction of the 25-foot minimum building setback line from all road frontages, reflecting any required dedication;
- 5) Placement of a note on the plat stating the size of the lot in square feet, reflecting any required dedication; and
- 6) Placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species prior to the issuance of any permits or land disturbance activities.

Sidewalk Waiver: Based upon the preceding, this request is recommended for Approval.

LOCATOR MAP



APPLICATION NUMBER 6 & 7 DATE December 16, 2010

APPLICANT Steiner Properties Subdivision, Resubdivision of Lots 2, 3 & 4

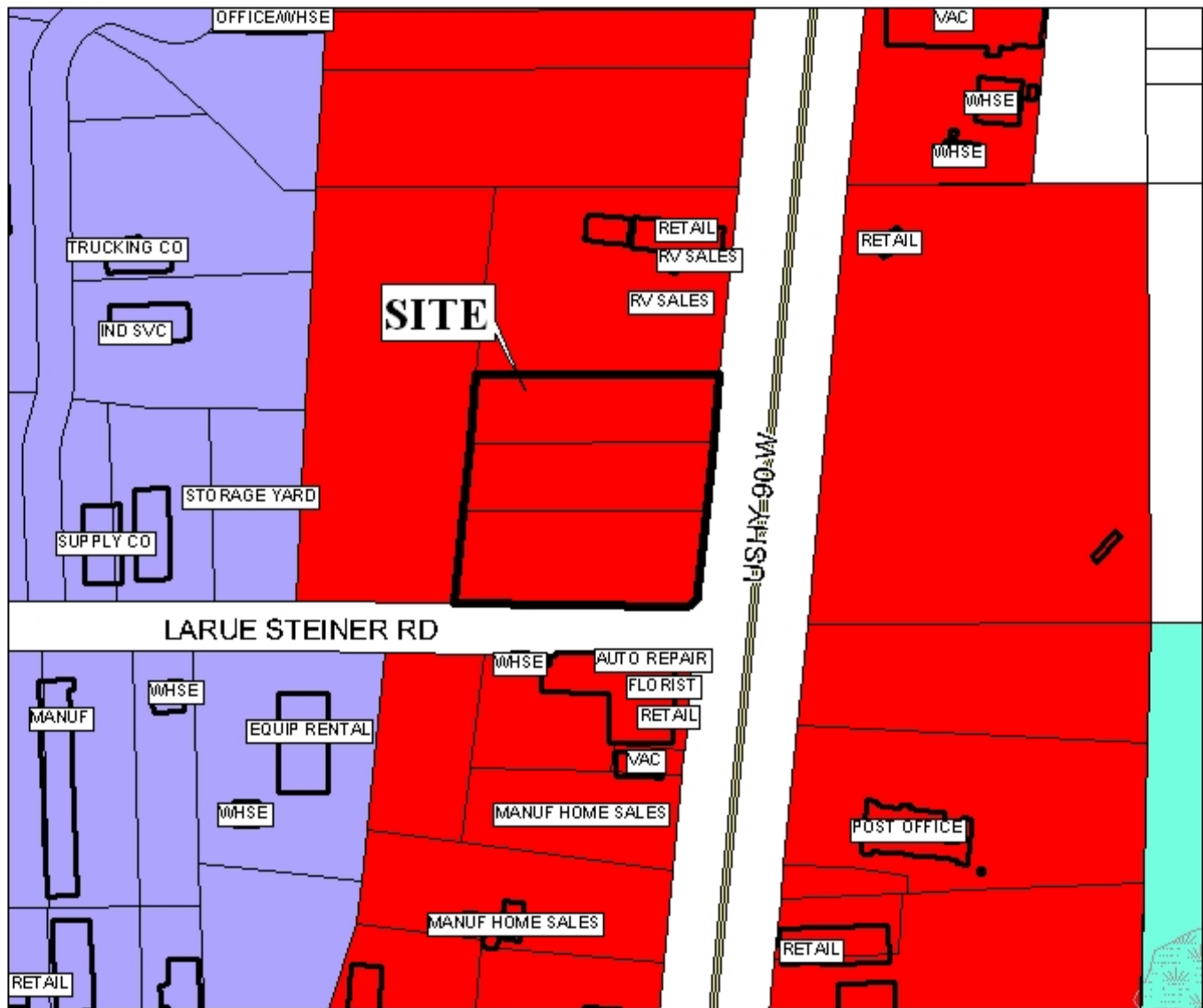
REQUEST Subdivision, Sidewalk Waiver

N



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial land use.

APPLICATION NUMBER 6 & 7 DATE December 16, 2010

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REQUEST Subdivision, Sidewalk Waiver

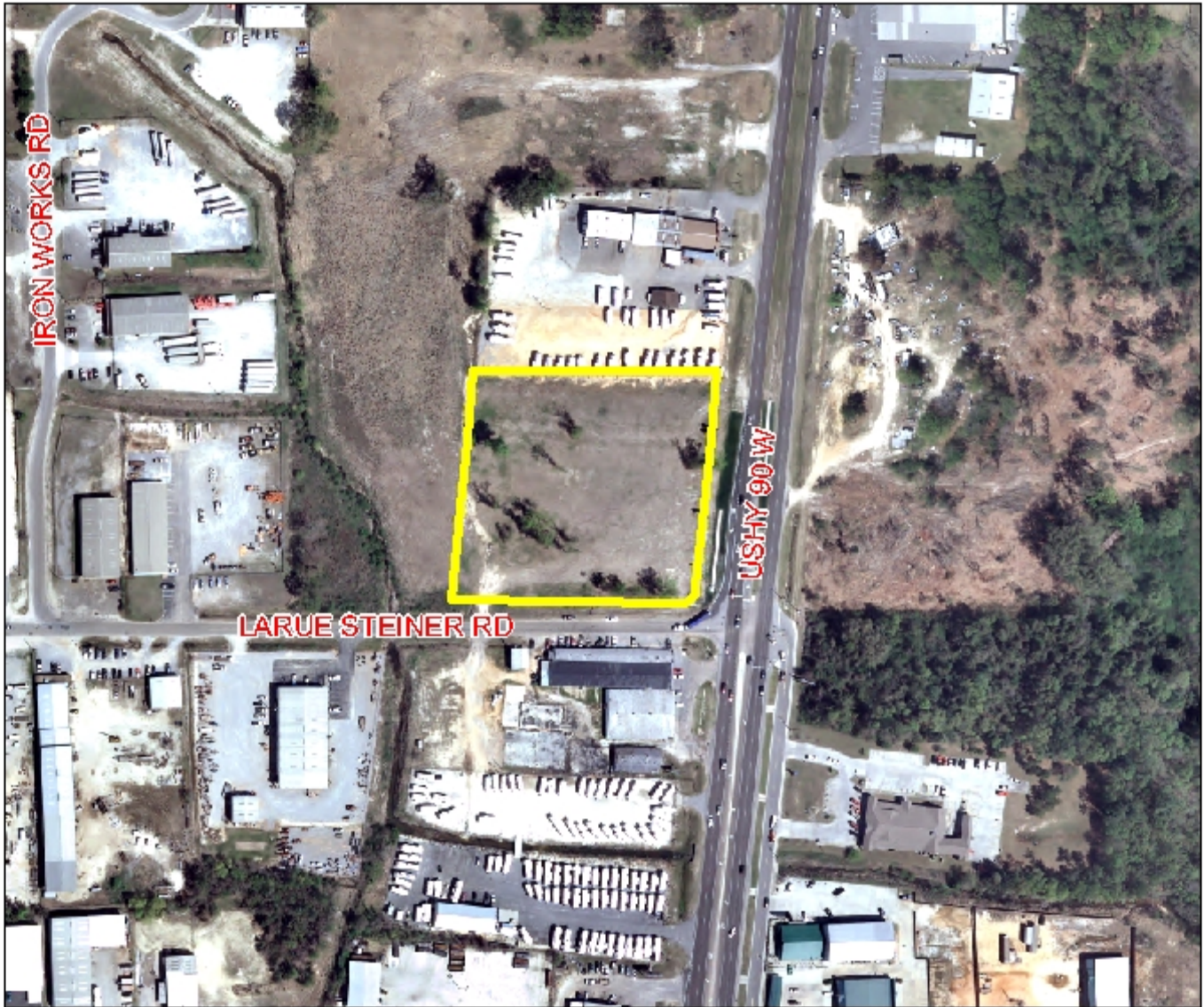
LEGEND

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|-----|-----|-----|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|-----|-----|
| | | | | | | | | | | | | | | |
| R-1 | R-2 | R-3 | R-A | R-B | H-B | T-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |



NTS

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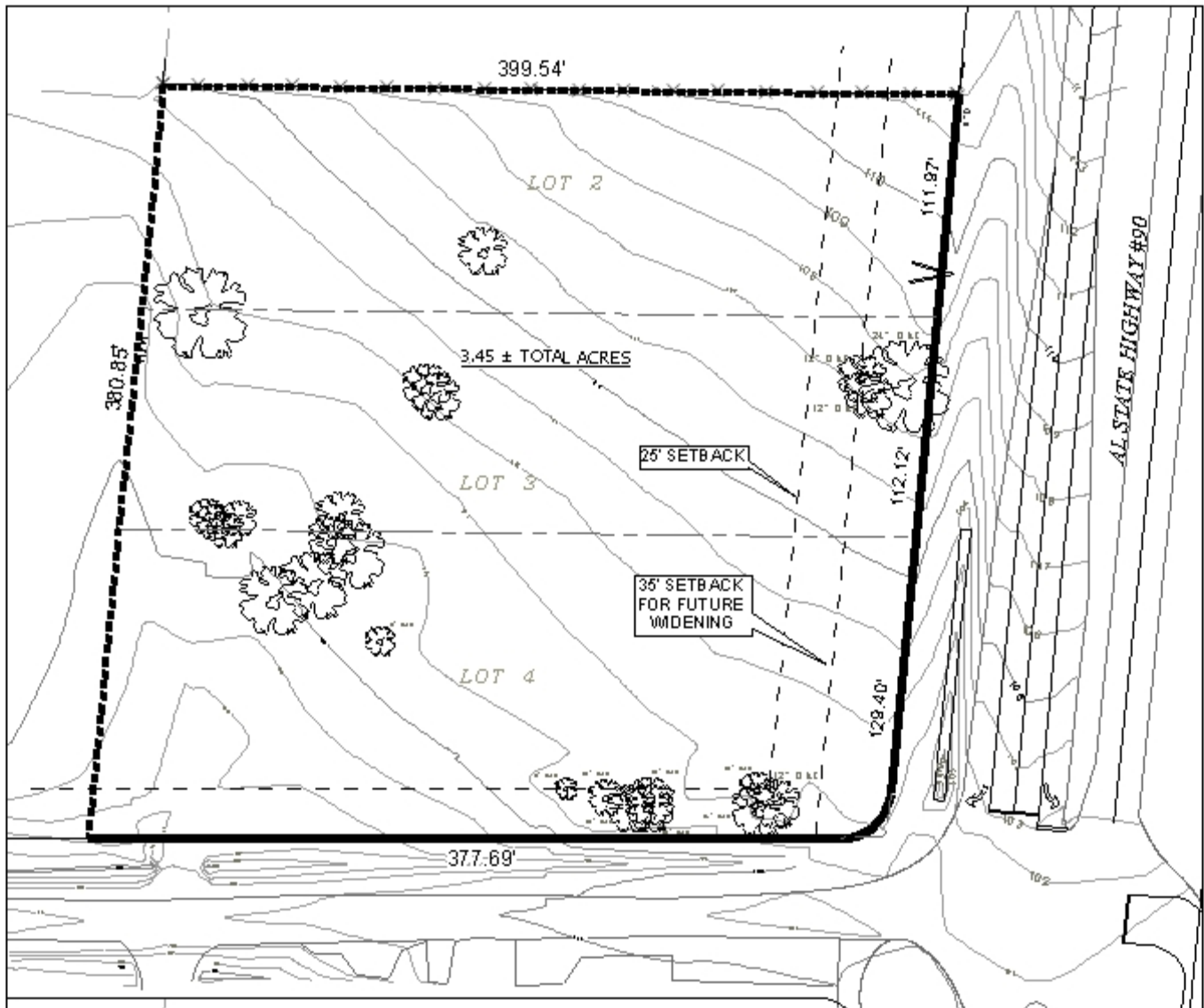
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SITE PLAN



The site plan illustrates the existing lot configuration, setbacks, and contours.

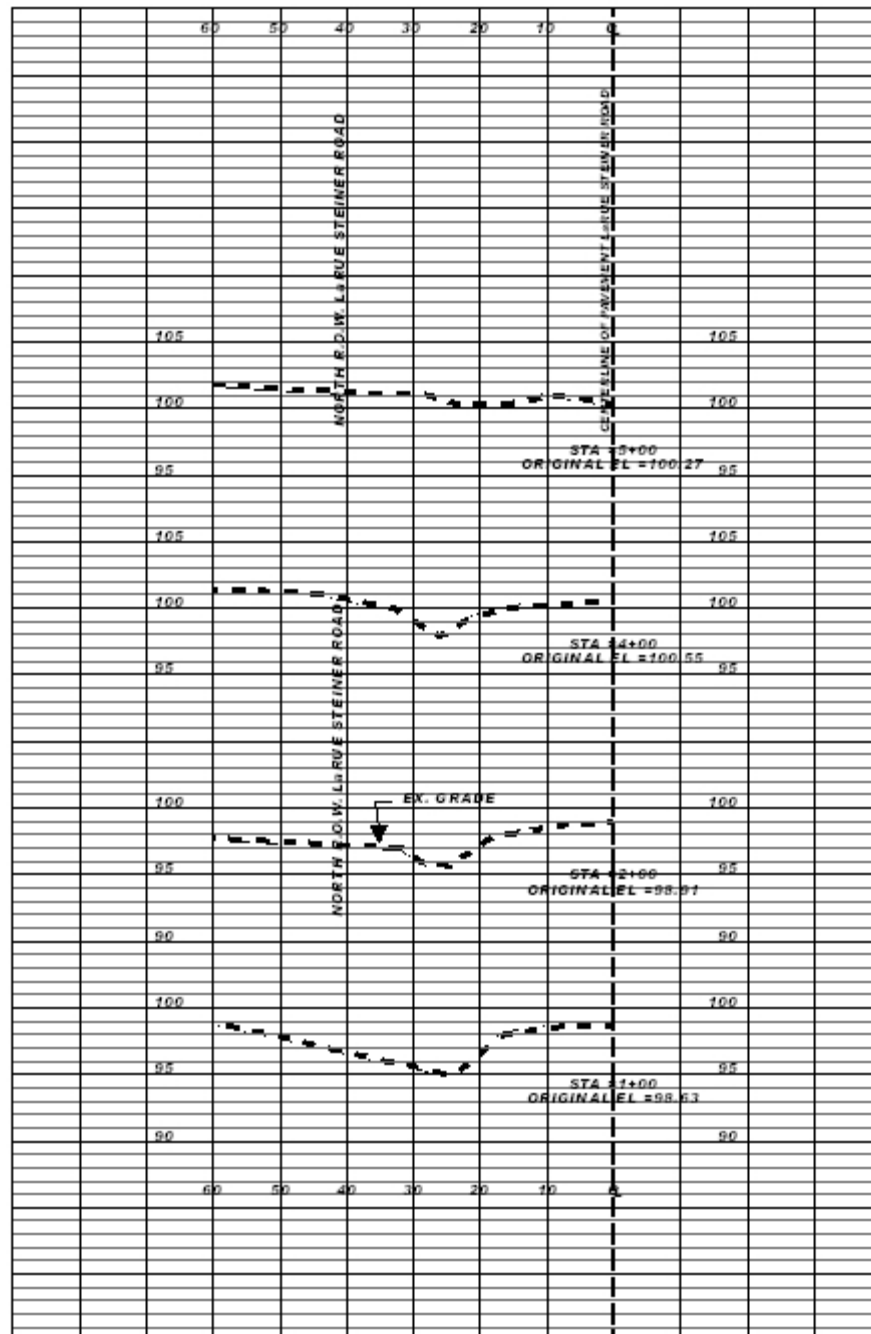
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NTS

SIDEWALK CROSS-SECTION DETAIL 1

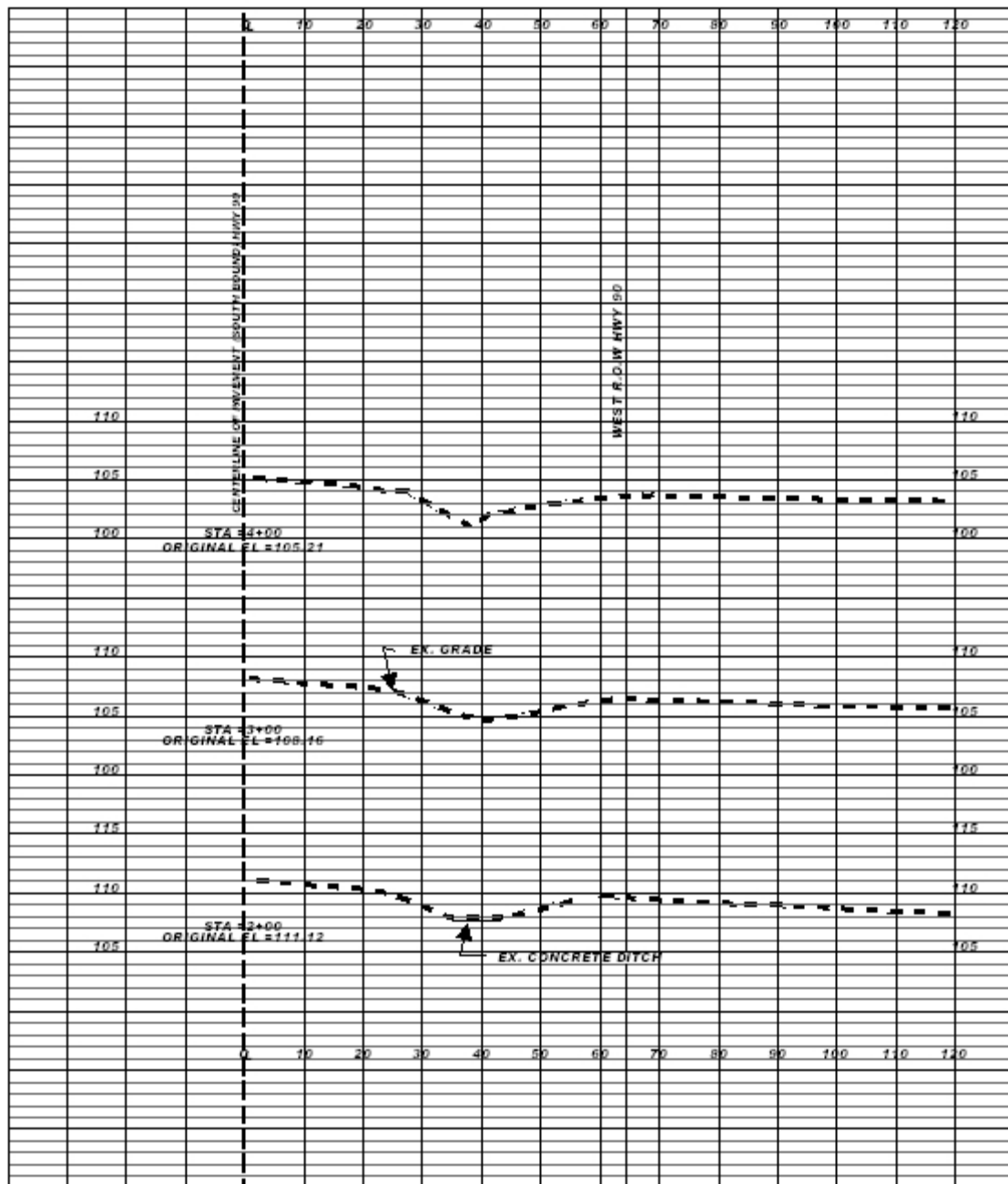


La RUE STEINER ROAD

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SIDEWALK CROSS-SECTION DETAIL 2



U.S. HIGHWAY 90

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