

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: July 2, 2009****DEVELOPMENT NAME**

South China Subdivision

SUBDIVISION NAME

South China Subdivision

LOCATION3831 Airport Boulevard
(South side of Airport Boulevard, 625'± East of
Downtown Loop West)**CITY COUNCIL
DISTRICT**

District 5

AREA OF PROPERTY

2-lot /1.1± acres

CONTEMPLATED USEPlanned Unit Development Approval to allow shared
access and parking between two building sites, and
Subdivision Approval to create two legal lots from three
metes and bounds parcels.**TIME SCHEDULE
FOR DEVELOPMENT**

None Given

ENGINEERING**COMMENTS**Must comply with all storm water and flood control
ordinances. Any work performed in the right of way will require a right of way permit.
Drainage from any newly constructed dumpster pads cannot discharge to storm sewer; must have
connection to sanitary sewer.**TRAFFIC ENGINEERING****COMMENTS**Driveway number, size, location, and design to be
approved by Traffic Engineering and conform to AASHTO standards. The parking area on the
northeast side of the lot does not have adequate parking aisle width. A minimum of twenty-four
feet aisle width is required for ninety degree parking spaces. Standard widths for one-way drives
are between fourteen and sixteen feet. The two driveways shown exceed the maximum
allowable width. Changes should be made to accommodate the standards. One way drives
should be signed and marked.

*Revised Traffic comments: Driveway number, size, location, and design to be
approved by Traffic Engineering and conform to AASHTO standards. The parking area on the
northeast side of the lot does not have adequate parking aisle width. A minimum of twenty-four feet
aisle width is required for ninety degree parking spaces. Standard widths for one-way drives are
between fourteen and sixteen feet. The two driveways shown exceed the maximum allowable width.*

Changes should be made to accommodate the standards. One way drives should be signed and marked. If the two driveways shown are not intended to be one-way access, one drive should be eliminated.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

No comments

REMARKS

The applicant is seeking Planned Unit Development Approval to allow shared access and parking between two building sites, and Subdivision Approval to create two legal lots from three metes and bounds parcels. The site is located in Council District 5, and according to the applicant is served by public water and sewer.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

It is very important to note that the PUD review are site plan specific; therefore *any* future changes to the overall site plan must be submitted for PUD review. Additionally, if the site plan is changed from what is approved by the Planning Commission, a new application for Planned Unit Development will be required.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site fronts Airport Boulevard, a major street as illustrated on the Major Street Component of the Comprehensive Master Plan with 200-foot right-of-way required. The preliminary plat indicates that sufficient right-of-way is provided; therefore, no dedication is required. Furthermore, as indicated in Traffic Engineering comments the parking area on the northeast side of the lot does not have adequate parking aisle width. A minimum of twenty-four feet aisle width is required for ninety degree parking spaces. Standard widths for one-way drives are between fourteen and sixteen feet. The two driveways shown exceed the maximum allowable width. Changes should be made to accommodate the standards. One way drives should be signed and marked.

The plat meets the minimum size requirement for developments with access to public water and sewer. However, a waiver of Section V.D.3. would be required due to the depth exceeds 3.5 times the width of the lot at the building setback line.

The site is zoned B-3, Community Business District, thus the current use as restaurant and retail is allowed by right. Furthermore, this district allows up to 50% site coverage, a 25-foot front yard setback and 0 or 5-foot side and rear yard setbacks. It should be noted that a side yard setback variance may be required if the addition to the building does not comply with the 0 or 5-foot side yard setback requirements of the Zoning Ordinance. Therefore, since the Planned Unit Development is site specific, a detailed front elevation plan should be submitted to illustrate the proposed side yard setback.

Regarding the PUD, the site plan submitted indicates an existing 3,500 square foot retail building requiring 12 parking spaces on Lot 1 and an existing 3,730 square foot restaurant requiring 38 parking spaces on proposed Lot 2. The site plan submitted indicates all property line setbacks to be compliant, and site coverage is determined to be compliant due to the site coverage calculations given. It should be noted that the site plan indicates a 680 square feet, 17-foot x 40-foot expansion proposed for the restaurant, which would require an additional seven parking spaces for a total requirement of 57 spaces, only 55 are illustrated of which two are located on the clean out of the grease traps.

Internal circulation and parking is indicated; however, areas for truck loading/unloading, if any, are not indicated. The existing curb cuts to Airport Boulevard are shown to remain. Parking calculations are provided based on the square footage of each use of the buildings, the calculations are not correct based on the existing uses of the buildings and landscaping areas and tree plantings are shown and calculations provided that comply with the landscaping and tree requirements of the Ordinance.

No storm water detention area is indicated, but no verification is furnished that such would not be required. No dumpster is depicted on the site plan.

Lighting of the parking area and site must comply with Sections 64-4.A.2 and 64-6.A.3.C of the Zoning Ordinance.

If a dumpster is utilized, it should be depicted on the site plan, or a statement should be provided indicating that no dumpster will be included as part of the development.

RECOMMENDATION

Subdivision: Based on the preceding, it is recommended that this application be held over to coincide with the Planned Unit Development.

Planned Unit Development: Based on the preceding, it is recommended that this application be held over until the July 2nd Commission meeting to allow the applicant to submit a revised site plan subject to the following conditions:

- 1) submission of revised site plan illustrating the location of the dumpster(s) with proper screening, corrected parking ratio calculations for each building use, and correction of the number and location of required parking spaces;
- 2) submission of elevation drawing indicating the addition and its relation to the East side yard property line;
- 3) parking location should be revised to illustrate no parking stalls located on the clean out areas of the grease trap;
- 4) compliance with the conditions of Traffic Engineering; and
- 5) provision of compliance with Sections 64-4.2 and 64-4.A.3.C of the Zoning Ordinance.

Revised for the July 2nd meeting:

A revised PUD site plan and building plan for the restaurant were submitted by the applicant to reflect recommendations by staff from the June 4th Planning commission meeting.

While the PUD site plan was revised to illustrate compliance with Traffic comments, it does not illustrate dumpster locations and buffering or lighting standards as required in Sections 64-4.2 and 64-4.A.3.C of the Zoning Ordinance.

RECOMMENDATION

Subdivision: As revised, the application is recommended for Tentative Approval, subject to the following conditions:

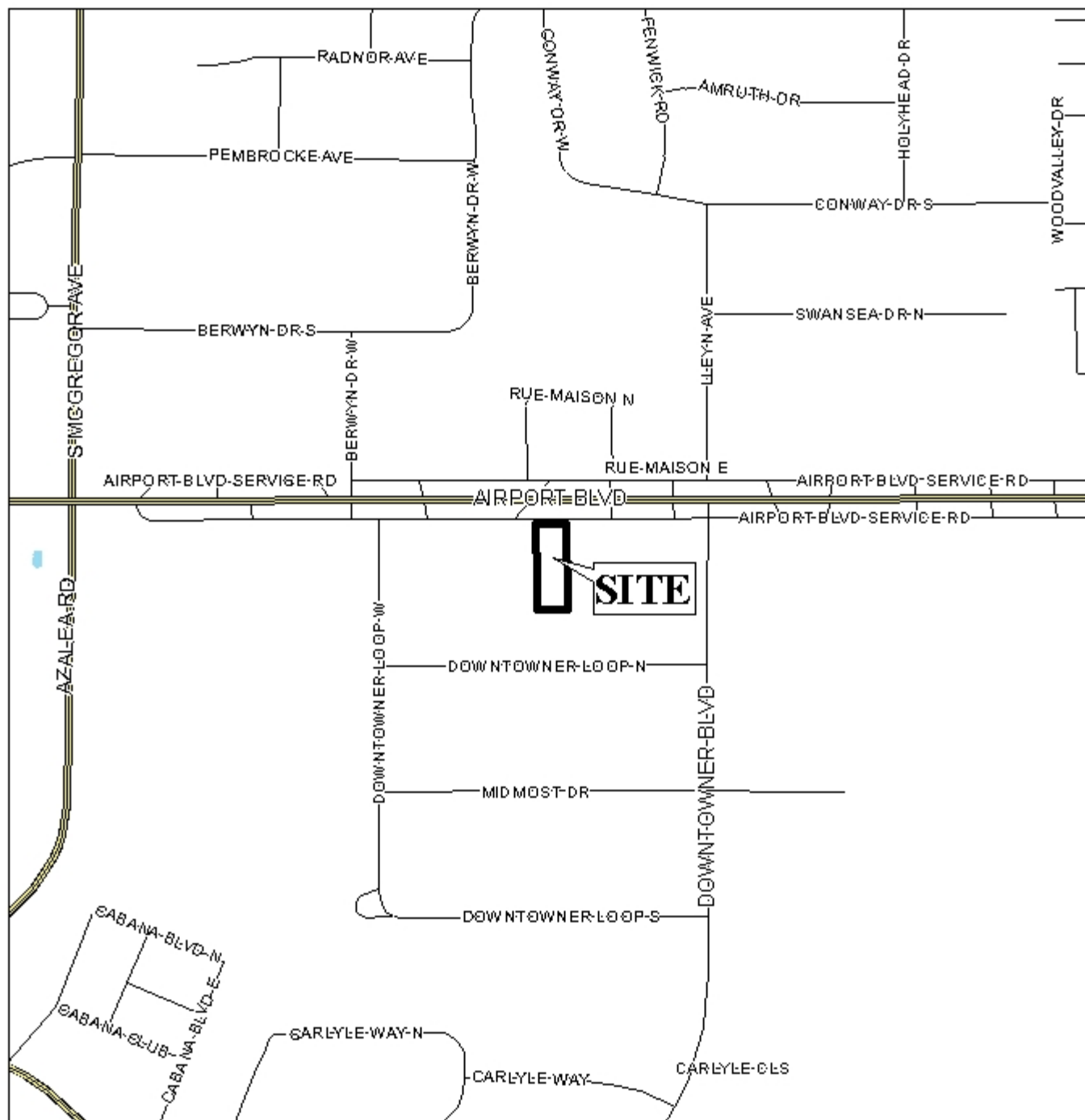
- 1) *placement of a note on the Final Plat stating that curb-cuts for the development are limited to the approved Planned Unit Development, with the size, design and location of any new curb-cuts to be approved by Traffic Engineering and to conform to AASHTO standards;*
- 2) *submittal of a revised PUD site plan, illustrating the location of all dumpsters and proper buffering of the dumpsters and compliance with Sections 64-4.A.2 and 64-6.A.3.C of the Zoning Ordinance; and*
- 3) *completion of the Subdivision process prior to any request for land disturbance or building permits.*

Planned Unit Development: As revised, the application is recommended for Approval, subject to the following conditions:

- 1) *placement of a note on the final plat stating that curb-cuts for the development are limited to the approved Planned Unit Development, with the size, design and location of any new curb-cuts to be approved by Traffic Engineering and to conform to AASHTO standards;*
- 2) *revised site plans depicting full compliance with the tree and landscaping requirements of the Zoning Ordinance;*
- 3) *revision of the site plan to locate the proposed screened dumpster so that it is serviced from within the parking area of the development;*

- 4) *revision of the site plan to illustrate the compliance with Sections 64-4.A.2 and 64-6.A.3.C of the Zoning Ordinance;*
- 5) *submission of a revised PUD site plan prior to any request for land disturbance or building permits, and prior to the signing of the final plat;*
- 6) *the submission and approval of any variance applications prior to the issuance of any buildings permits for the proposed addition; and*
- 7) *full compliance with all other municipal codes and ordinances.*

LOCATOR MAP



APPLICATION NUMBER 6 & 7 DATE July 2, 2009
 APPLICANT South China Subdivision
 REQUEST Subdivision, Planned Unit Development

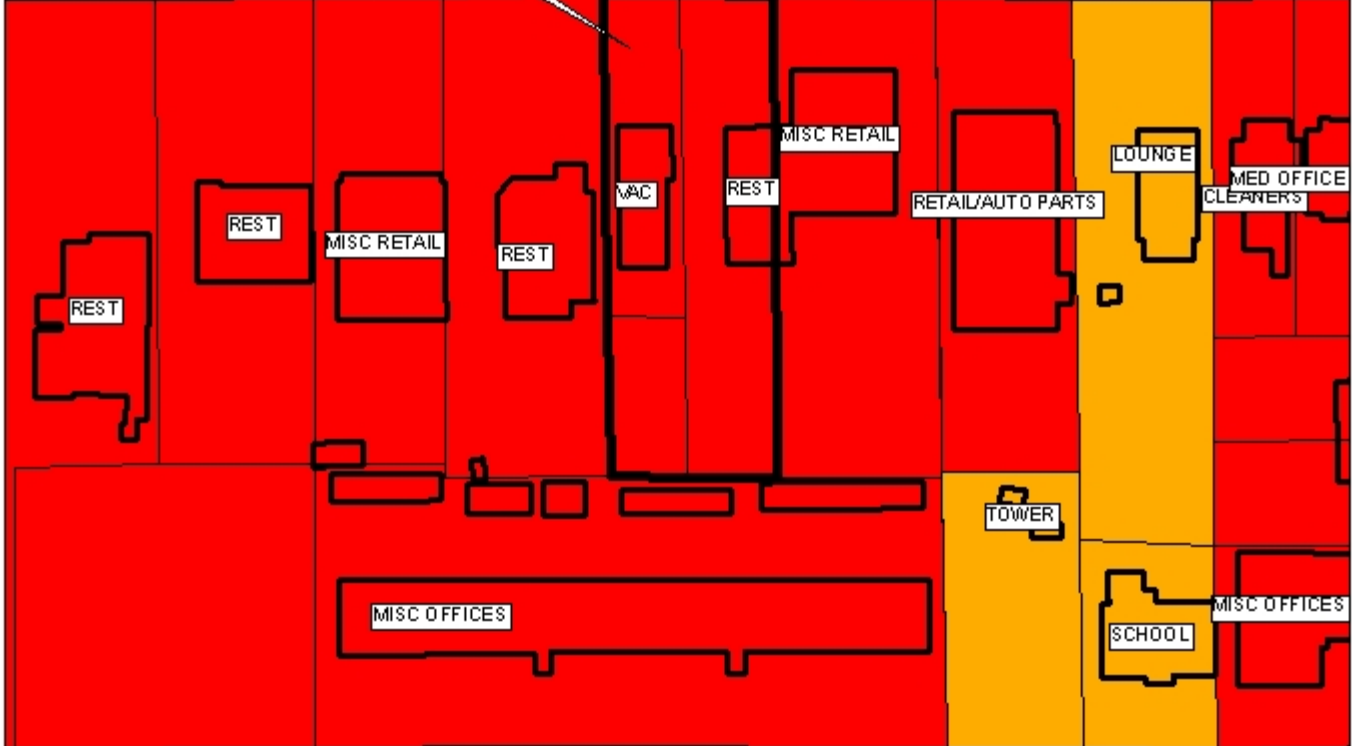


PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

			RUE MAISON E
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AIRPORT BLVD SERVICE RD

ARPORT-BLEND

SITE

This site is surrounded by business land use.

APPLICATION NUMBER 6 & 7 DATE July 2, 2009

APPLICANT South China Subdivision

REQUEST Subdivision, Planned Unit Development

LEGEND

R-1

R-2

R-3

R-A

R-B

H-E

T-B

B-1

LB-2

B-2

B-3

B-4

B-2

I-1

I-2

NT

NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

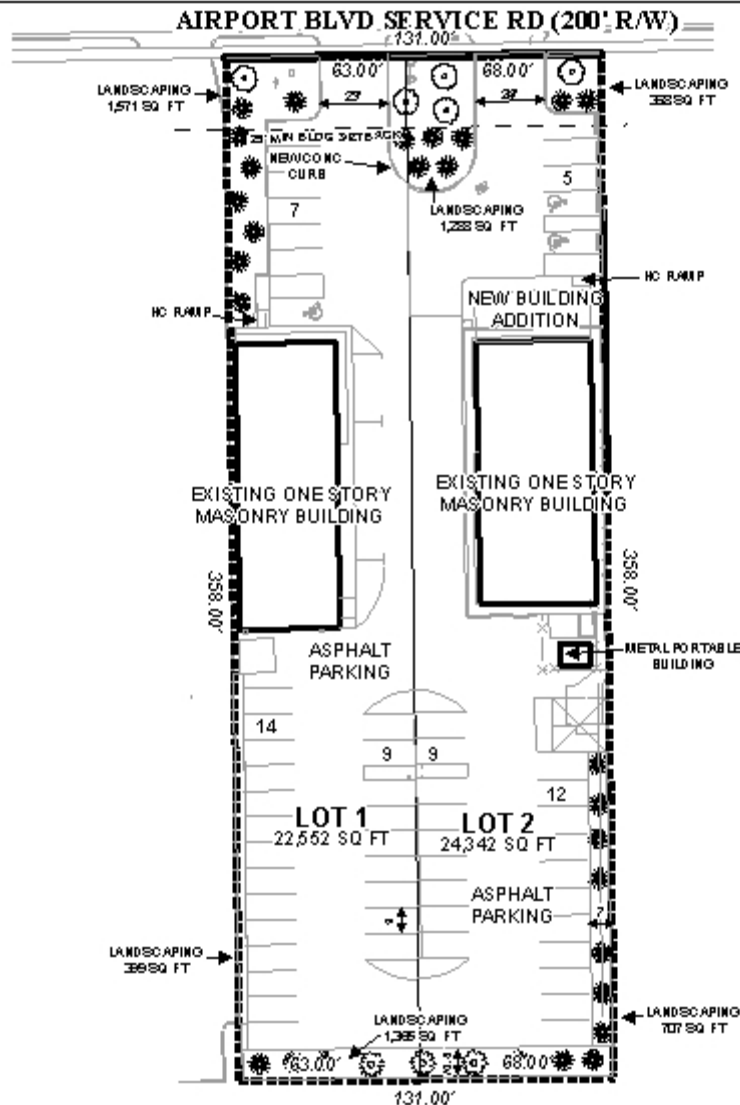


This site is surrounded by business land use.

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SITE PLAN



This site plan illustrates existing structures with proposed building addition and parking modifications.

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NTS