

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: December 21, 2006****DEVELOPMENT NAME**

Brandonwood Subdivision

SUBDIVISION NAME

Brandonwood Subdivision

LOCATION2910 and 2916 Cottage Hill Road
(North side of Cottage Hill Road, 60'± West of Coventry Way)**CITY COUNCIL
DISTRICT**

District 5

PRESENT ZONING

R-1, Single-Family Residential District

AREA OF PROPERTY

5-Lots /0.3± acres

CONTEMPLATED USE

Subdivision and Planned Unit Development Approval to allow reduced lot widths and building setbacks in a zero-lot line, single-family residential subdivision.

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediate

ENGINEERING**COMMENTS**

Storm drainage must tie subsurface to City of Mobile storm drainage system; to concentrate storm water onto an adjacent property, a hold harmless agreement is required. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Preservation status is to be given to the Two 50" Live Oak Trees located on the South side of Lot 5 and Lot 2. Any work on or under these trees is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

60" Live Oak Tree located on the East side of Lot 5 was damaged by recent fire causing damage to half of the tree's canopy. Due to the damaged canopy, Urban Forestry is not requesting preservation for the 60" Live Oak Tree.

FIRE DEPARTMENT

COMMENTS

All commercial projects shall comply with the 2003 International Fire Code and Appendices B through G, as adopted by the City of Mobile on July 6, 2004. All One- or Two-Family residential developments shall comply with Appendices B, C, and D of the 2003 International Fire Code, as adopted by the City of Mobile on July 6, 2004.

REMARKS

The applicant is requesting Subdivision and Planned Unit Development Approval to allow reduced lot widths and building setbacks in a zero-lot line, single-family residential subdivision.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The applicant seeks to subdivide two legal lots of record into 5-lots, and develop single-family residential, zero-lot line homes on each lot. Four lots would be 50-feet wide and one-lot would be 49-feet wide, all five lots would be 200-feet deep, and have a zero-foot side yard setback on one side, and a minimum 8-foot side yard setback on the other side. Each lot will be approximately 10,000 square feet.

The site fronts Cottage Hill Road, a minor street with adequate right-of-way. Cottage Hill Road veers to the East approximately 1,500 feet West of the site, via Bel Air Boulevard/Cottage Hill Road. Cottage Hill Road intersects Grant Street approximately 2,700 feet Northeast of the site.

Properties adjacent to the site under consideration are developed with single-family residential homes on properties at least 60 feet in width. A townhome/patio home development exists approximately 2,600-feet North of the site in question, but there are no similar types of development within the immediate area of Cottage Hill Road.

Section V.D. of the Subdivision Regulations require lots to be a minimum of 60-feet in width. The depth to width ratio is generally recommended to be 3.5 or less. With a proposed lot width of 50-feet, the depth to width ratio will be approximately 4.

The Zoning Ordinance requires the following setbacks in an R-1 district: front – 25 feet, side – 8 feet minimum, with 12 feet on the other side, and rear – 8 feet. Typically, reduced setbacks for a development are applied to internal lot lines, not to property lines that form the perimeter of the PUD. This application, as submitted, would result in zero and 8-foot side yard setbacks occurring adjacent to existing single-family homes.

As proposed, the PUD and Subdivision request appears to be incompatible with the majority of the development on Cottage Hill Road. Specifically, the property widths would be substantially less than surrounding properties and the requirements found in the Subdivision Regulations, the depth to width ratio would exceed that recommended in the Subdivision Regulations, and the side yard setbacks would be substantially less than found on surrounding properties.

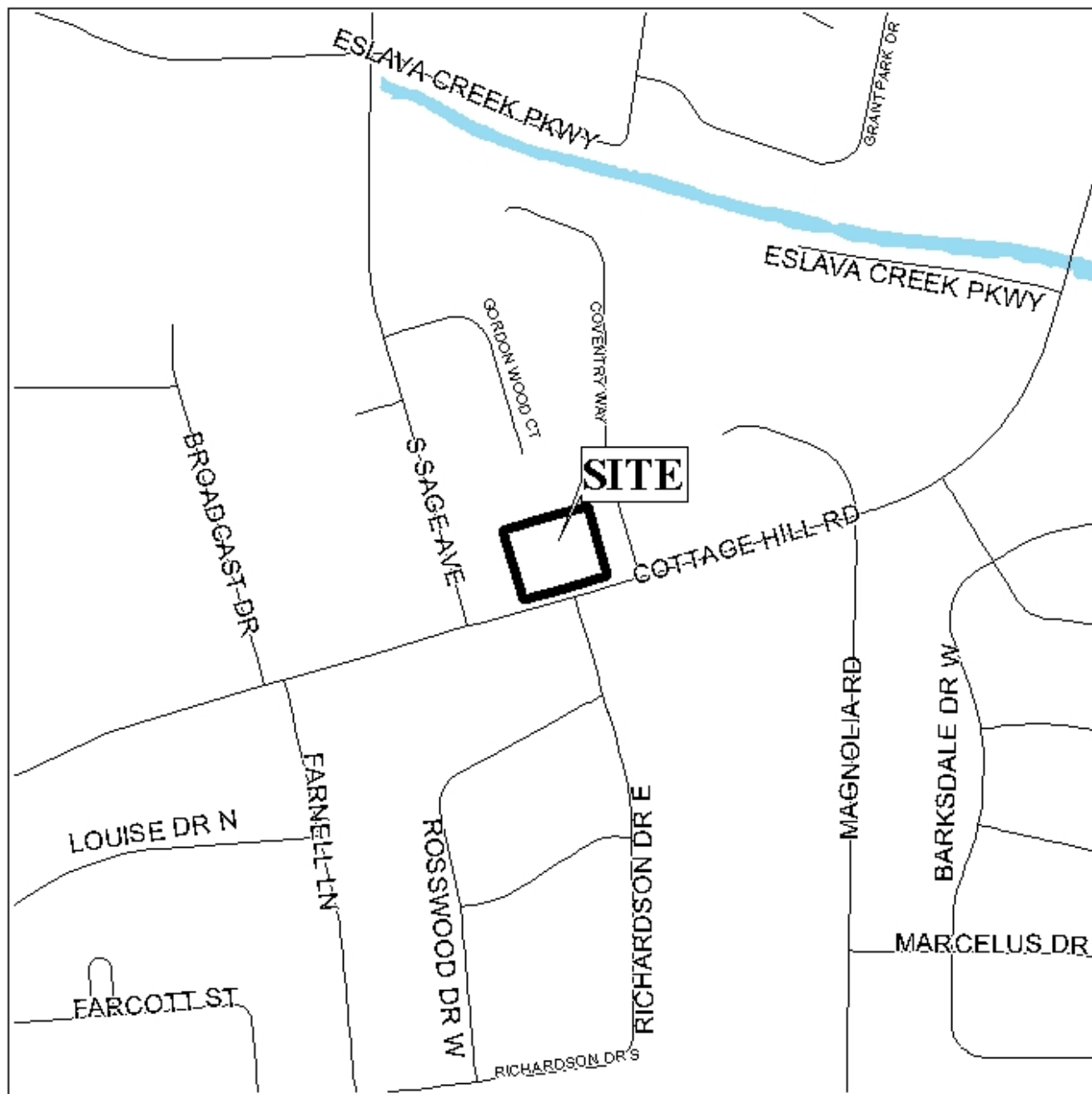
Conceptually, the development depicted on the proposed site/layout plan does not minimize impacts to the surrounding residential development, especially with the proposed 0-foot building setback along the sides of the site. It should be noted, however, that there is no indication on the site plan regarding the proposed side yards of the property; specifically if the zero setback line is proposed adjacent to existing residential development.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for Denial for the following reasons: 1) the reduced side yard setbacks and reduced lot widths would be incompatible with the majority of the existing residential development on Cottage Hill Road; and 2) that there would be a 0-foot setback adjacent to property outside the Planned Unit Development (PUD).

Subdivision: Based upon the preceding, this application is recommended for Denial for the following reasons: 1) does not comply with the minimum required lot width specified in the Subdivision Regulations; 2) does not comply with the minimum setbacks as required by the Zoning Ordinance; and 3) does not comply with the depth to width ratio recommendation within the Subdivision Regulations.

LOCATOR MAP

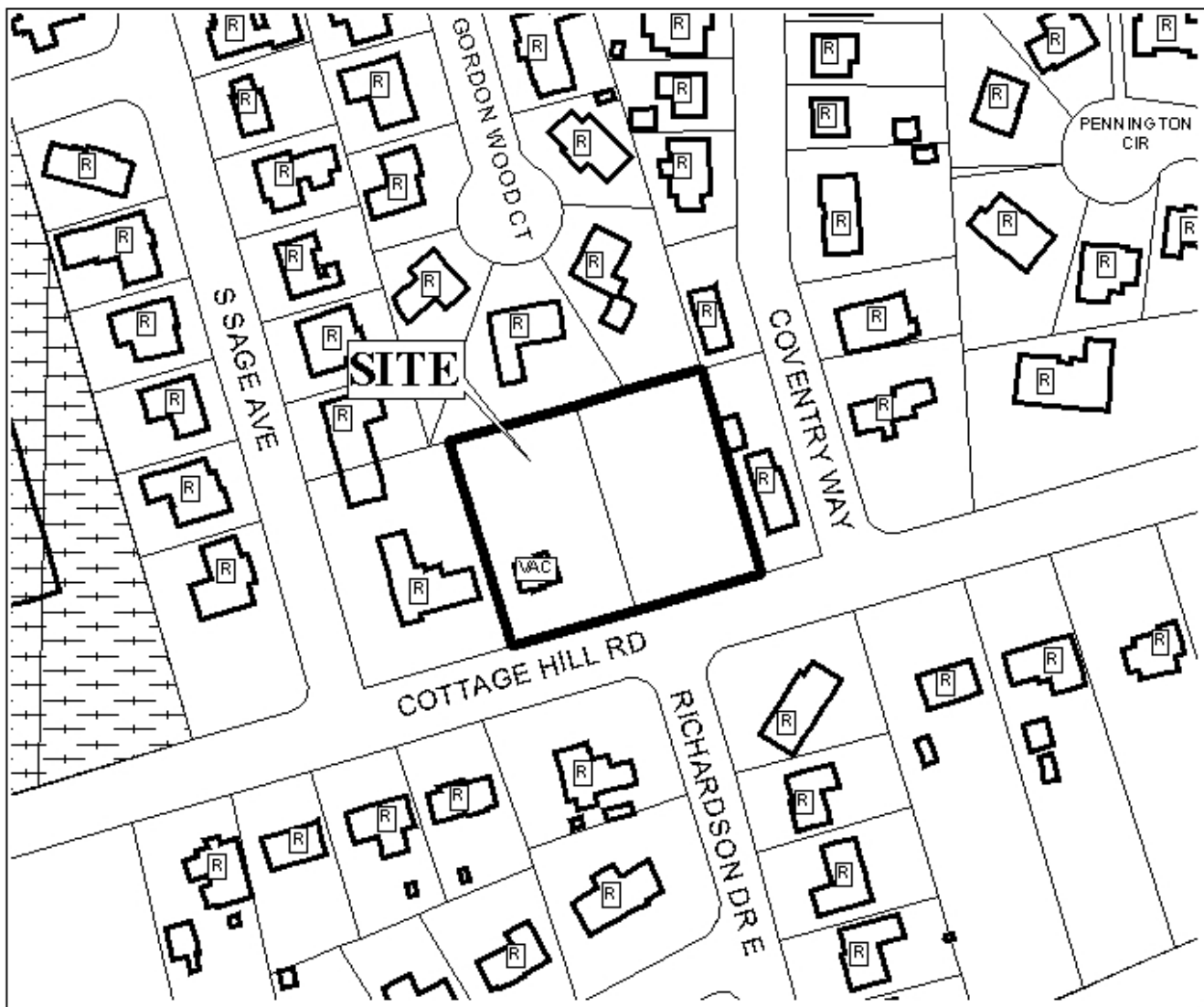


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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single-family residential units

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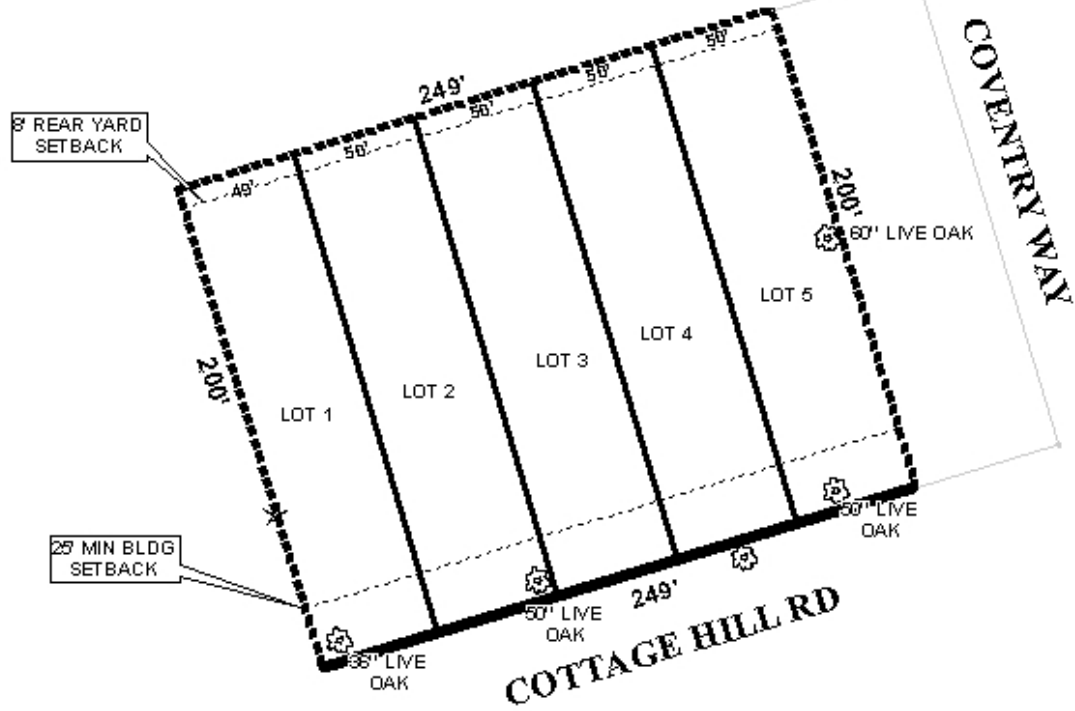
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



SITE PLAN



The site plan illustrates the proposed lot configuration, proposed setbacks, and existing trees

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