

**PLANNING APPROVAL,
PLANNED UNIT DEVELOPMENT &
SUBDIVISION STAFF REPORT**

Date: March 5, 2009

<u>NAME</u>	Ashland Place United Methodist Church, Inc.
<u>SUBDIVISION NAME</u>	Ashland Place UMC Subdivision
<u>LOCATION</u>	5, 7 and 15 Wisteria Avenue, 2315 Old Shell Road and 2312 Dauphin Street (Southwest corner of Old Shell Road and Wisteria Avenue, extending to the North side of Dauphin Street, 160'± West of Wisteria Avenue, and 380'± West of Wisteria Avenue)
<u>CITY COUNCIL DISTRICT</u>	District 1
<u>PRESENT ZONING</u>	R-1, Single-Family Residential District
<u>AREA OF PROPERTY</u>	2 Lots / 4.6± Acres – Subdivision 1 Lot / 3.96 ± Acres – PUD and Planning Approval
<u>CONTEMPLATED USE</u>	Planning Approval to amend a previously approved Planning Approval to allow the construction of an administrative office, classroom building, outdoor patio and expanded retention pond in an R-1, Single-Family Residential District, Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow the construction of an administrative office, classroom building, outdoor patio and expanded retention pond at an existing church, and Subdivision approval to create two lots.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediate
<u>ENGINEERING COMMENTS</u>	Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.
<u>TRAFFIC ENGINEERING COMMENTS</u>	Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

REMARKS

The applicant is requesting Planning Approval to amend a previously approved Planning Approval to allow the construction of an administrative office, classroom building, outdoor patio and expanded retention pond in an R-1, Single-Family Residential District, Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow the construction of an administrative office, classroom building, outdoor patio and expanded retention pond at an existing church, and Subdivision approval to create two lots. Churches require Planning Approval when located in R-1 districts.

The site was the subject of Subdivision, Planned Unit Development and Planning Approval applications that were approved with conditions by the Planning Commission at its December 7, 2006 meeting, which included proposed building expansion plans for the church. Subdivision, PUD and Planning Approval applications approved by the Planning Commission at its July 10, 2008 meeting did not include any of the building expansions approved in 2006, thus superseding previous approvals.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

PUD approval and Planning Approval are site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

The site plan indicates approximately 80 parking spaces, but no information is provided regarding the number of seats in the sanctuary, size of any proposed additions, size of other existing office/residential structures, nor calculations regarding tree and landscape requirements. As facility expansion is proposed, detailed information must be provided so that staff can determine if the site meets all parking, tree and landscape requirements.

Prior staff reports have recommended that the church site be limited to one curb-cut onto each street frontage, thus the applicant should take this into consideration: if the applicant wishes the curb-cut serving the current church office to remain, a statement to that effect with justification should be included. Also, a variance will be required for the gravel parking area, if the applicant wishes the parking area next to the church office to remain, and to be surfaced in gravel.

The two remaining residential structures fronting onto Wisteria Avenue have been an area of concern raised by neighbors during previous applications. The applicant should include information regarding the current, proposed, or anticipated future use of the structures.

Regarding the Subdivision plat and the site plans, the notes regarding setbacks from rights-of-way should also be depicted and labeled on the drawing.

RECOMMENDATION

Planning Approval: The request is recommended for Holdover until the April 2nd meeting, with 7 copies of the revised site plan and statement due by March 20th, so that the following revisions can be made:

- 1) Revision of the site plan (and amendment of the statement) to include information regarding existing seating in the sanctuary, size of proposed new construction, and size of all other existing structures;
- 2) Revision of the site plan to depict full compliance with the tree and landscaping requirements of the Zoning Ordinance;
- 3) Revision of the site plan to show only one curb-cut onto each street, or provision of justification regarding why additional curb-cuts should be allowed;
- 4) Revision of the site plan to remove gravel parking area next to existing church office, or justification of its remaining, and submittal of application to Board of Adjustment for variance for gravel parking;
- 5) Revision of the statement to indicate existing, proposed or anticipated use of the existing residential structures that front onto Wisteria Avenue; and
- 6) Depiction of required setbacks, in addition to the notes placed on the site plan.

Planned Unit Development: The request is recommended for Holdover until the April 2nd meeting, with 7 copies of the revised site plan and statement due by March 20th, so that the following revisions can be made:

- 1) Revision of the site plan (and amendment of the statement) to include information regarding existing seating in the sanctuary, size of proposed new construction, and size of all other existing structures;
- 2) Revision of the site plan to depict full compliance with the tree and landscaping requirements of the Zoning Ordinance;
- 3) Revision of the site plan to show only one curb-cut onto each street, or provision of justification regarding why additional curb-cuts should be allowed;
- 4) Revision of the site plan to remove gravel parking area next to existing church office, or justification of its remaining, and submittal of application to Board of Adjustment for variance for gravel parking;
- 5) Revision of the statement to indicate existing, proposed or anticipated use of the existing residential structures that front onto Wisteria Avenue; and

- 6) Depiction of required setbacks, in addition to the notes placed on the site plan.

Subdivision: The request is recommended for Holdover until the April 2nd meeting, with 7 copies of the revised preliminary plat due by March 20th, so that the following revision can be made:

- 1) Depiction and labeling of the 25-foot minimum building setback line from Old Shell Road and Wisteria Avenue, and depiction and labeling of the minimum building setback line along Dauphin Street so that it is 75-feet from the centerline.

Revised for the April 2nd meeting:

Revised information and plans were submitted by the applicant. The revised drawings depict new trees, a revised detention facility, and a proposed garden along Wisteria Avenue.

The applicant states that the sanctuary has a seating capacity of 270 people, that the Fellowship Hall is 9,000 square feet, and that the Educational Building is 16,000 square feet. The proposed office building will be 8,400 square feet. Parking for churches is determined by seating capacity of the sanctuary (1 space per 4 seats), thus 68 parking spaces will be required: 81 parking spaces are provided.

A tree plan, with calculations, was provided by the applicant. Landscape area information and calculations was not included on the tree plan, as requested. The tree plan shows the provision of new trees, however, the actual tree canopy width of existing trees is not depicted, thus staff can only determine that the site lacks adequate frontage trees. Revision of the tree plan to depict the actual canopy width of existing trees in the frontage areas will be required, or additional frontage trees must be depicted. Landscape area calculations should also be provided, indicating overall landscape area, and that amount of landscape area provided to meet the front landscape area requirements of the Zoning Ordinance.

The applicant states that the two existing dwellings on Wisteria Avenue will be made available for removal to another site, however, if the such structures are not removed within 30 days of approval, the Church will have the structures demolished and replaced with a “prayer” garden. Removal of the structures will impact the residential integrity of the street, however, removal may be preferable to the continued vacancy and gradual decline of the structures. Expansion of the church grounds will increase the institutional feel of the area, potentially degrading the suitability of surrounding properties for continued residential use.

The detention pond has been reduced in area than as previously proposed, and will be approximately 27 feet from the South property line (previously proposed as 5 feet from property line). The existing hedge on the residential property to the South is depicted, and it appears that three trees are proposed on the church property to increase the visual buffer between the church and the residences, however, the manner in which the trees are depicted on the site plan do not clearly indicate if they are existing trees or proposed trees.

A buffer fence is shown where the site abuts adjacent residences, with the exception of along the Southern boundary where there is an existing hedge, near the proposed detention pond. Unless specifically requested by the residents to the South, the fence should also be depicted along this

area, and should be 6-foot high to the building setback line along both Wisteria Avenue and Old Shell Road, where the fence must then drop to 3-feet high and run to the property line/right-of-way. The site plan should be revised to show the fence. The privacy fence should not be required along the 92 foot \pm long driveway-only segment of Lot 1, where it runs from the main portion of the lot to Dauphin Street, as it would interrupt the residential nature of the streetscape.

The driveway to Dauphin Street is paved, and approximately 13-feet wide. The property containing the drive is 25-feet wide. Staff questions the adequacy and need of this drive: the drive cannot handle two-way traffic, and access to Old Shell and Wisteria should be able to meet site circulation needs.

The applicant states that existing residential structure on Old Shell, currently being used as an office, will be used for another use once the new office structure is completed. They also state that the gravel parking will be removed at that time as well, however, they wish to retain the curb-cut at this location. Staff does not feel that an open-ended reference to a future unknown use meets the requirements of Planning Approval: a specific use should be identified, or the structure should remain unused until a new application for Planning Approval is made. It should be pointed out that the residential structure, in terms of Building and Fire Codes, is probably not suitable for any commercial, office, meeting hall or daycare use.

It should be pointed out that several building-related permits issued in 2006 and 2007 apparently never received final approvals from all appropriate City entities.

Finally, Lot 2 of the proposed Subdivision should be limited to its single existing curb-cut onto Dauphin Street.

RECOMMENDATION

Planning Approval: The request is recommended for Approval, subject to the following conditions:

- 1) Revision of the site plan to depict compliance with the tree and landscaping requirements of Section 64-4.E. of the Zoning Ordinance, including depiction of the full width of existing tree canopies that overhang street frontage areas, and provision of information regarding total landscape area and required front landscape area;
- 2) Depiction and provision of a 6-foot high wooden privacy fence along all boundaries where the site abuts adjacent residences (fence not to impact existing hedge), except within the minimum building setback along Wisteria and Old Shell, where the fence shall only be 3-feet in height, and not required for the 92-foot \pm long driveway portion of the site extending to Dauphin Street;
- 3) Depiction/clarification of additional tree buffering between the detention facility and the residential properties to the South;
- 4) Demolition or removal of the Wisteria Avenue structures, with appropriate permits, and completion of the prayer garden, prior to final inspections for the office addition;
- 5) Revision of the site plan to show only one curb-cut each onto Dauphin Street, Wisteria Avenue and Old Shell Road;
- 6) Removal of the gravel parking area along Old Shell Road prior to final inspections for the office addition;

- 7) *No future use of residential structure on Old Shell Road without new Planning Approval, and any future non single-family residential use subject to full compliance with all applicable Building and Fire Codes; and*
- 8) *Provision of a revised Planning Approval site plan prior to the submission of revised drawings for the current building permits.*

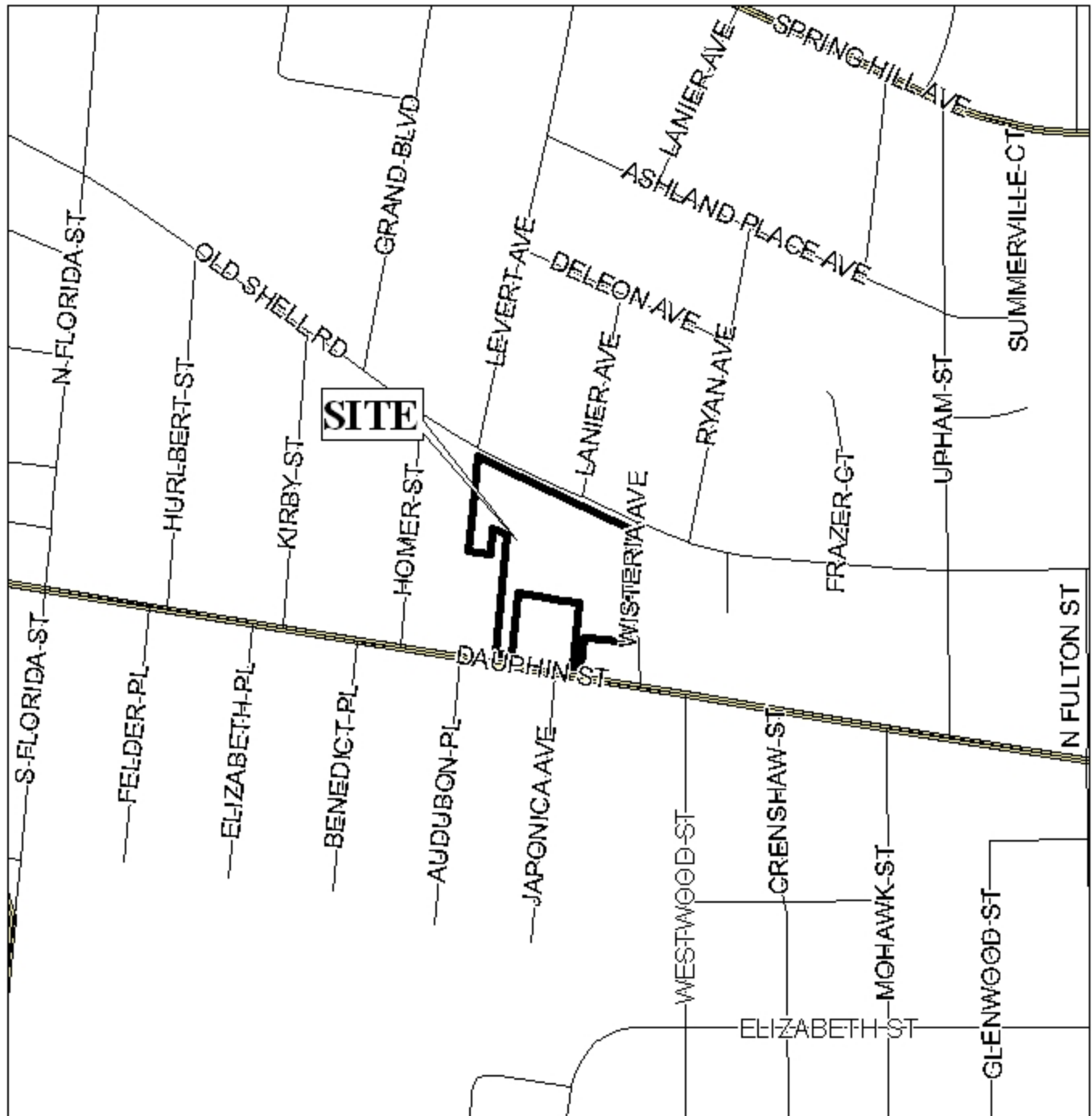
Planned Unit Development: *The request is recommended for Approval, subject to the following conditions:*

- 1) *Revision of the site plan to depict compliance with the tree and landscaping requirements of Section 64-4.E. of the Zoning Ordinance, including depiction of the full width of existing tree canopies that overhang street frontage areas, and provision of information regarding total landscape area and required front landscape area;*
- 2) *Depiction and provision of a 6-foot high wooden privacy fence along all boundaries where the site abuts adjacent residences (fence not to impact existing hedge), except within the minimum building setback along Wisteria and Old Shell, where the fence shall only be 3-feet in height, and not required for the 92-foot \pm long driveway portion of the site extending to Dauphin Street;*
- 3) *Depiction/clarification of additional tree buffering between the detention facility and the residential properties to the South;*
- 4) *Demolition or removal of the Wisteria Avenue structures, with appropriate permits, and completion of the prayer garden, prior to final inspections for the office addition;*
- 5) *Revision of the site plan to show only one curb-cut each onto Dauphin Street, Wisteria Avenue and Old Shell Road;*
- 6) *Removal of the gravel parking area along Old Shell Road prior to final inspections for the office addition; and*
- 7) *Provision of a revised Planned Unit Development site plan prior to the submission of revised drawings for the current building permits.*

Subdivision: *The request is recommended for Tentative Approval, subject to the following conditions:*

- 1) *Placement of a note on the final plat stating that Lot 1 is limited to one curb-cut onto Dauphin Street, Wisteria Avenue and Old Shell Road, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and comply with AASHTO standards, if modified;*
- 2) *Placement of a note on the final plat stating that Lot 2 is limited to its single existing curb-cut onto Dauphin Street, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and comply with AASHTO standards, if modified;*
- 3) *Removal of any un-used curb-cuts prior to the request for final inspections relating to the construction of the proposed office addition;*
- 4) *Submission of a revised Planning Approval and Planned Unit Development site plan (1 of each) prior to the submission of revised drawings for the current building permits; and*
- 5) *Completion of the Subdivision process prior to the request for final inspections relating to the construction of the proposed office addition.*

LOCATOR MAP



APPLICATION NUMBER 6, 7, 8 DATE April 2, 2009
APPLICANT Ashland Place United Methodist Church, Inc.
REQUEST Subdivision, Planning Approval, PUD



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential land use

APPLICATION NUMBER 6, 7, 8 DATE April 2, 2009

APPLICANT Ashland Place United Methodist Church, Inc.

REQUEST Subdivision, Planning Approval, PUD

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

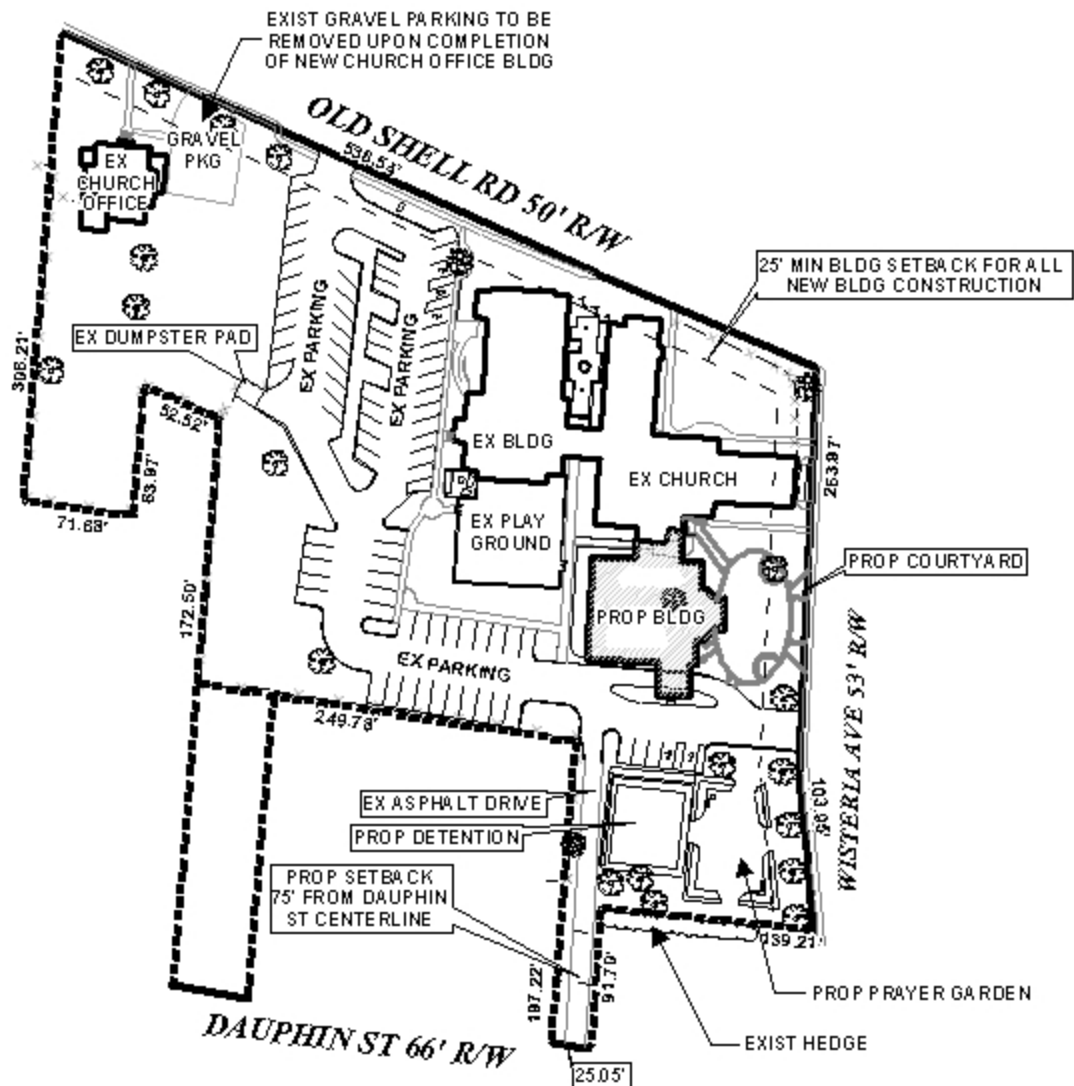


The site is surrounded by residential land use

APPLICATION NUMBER 6, 7, 8 DATE April 2, 2009
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REQUEST Subdivision, Planning Approval, PUD

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SITE PLAN



The site plan illustrates the existing church facility, proposed bldg addition, and proposed courtyard

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 REQUEST Subdivision, Planning Approval, PUD

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SUBDIVISION PLAT



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